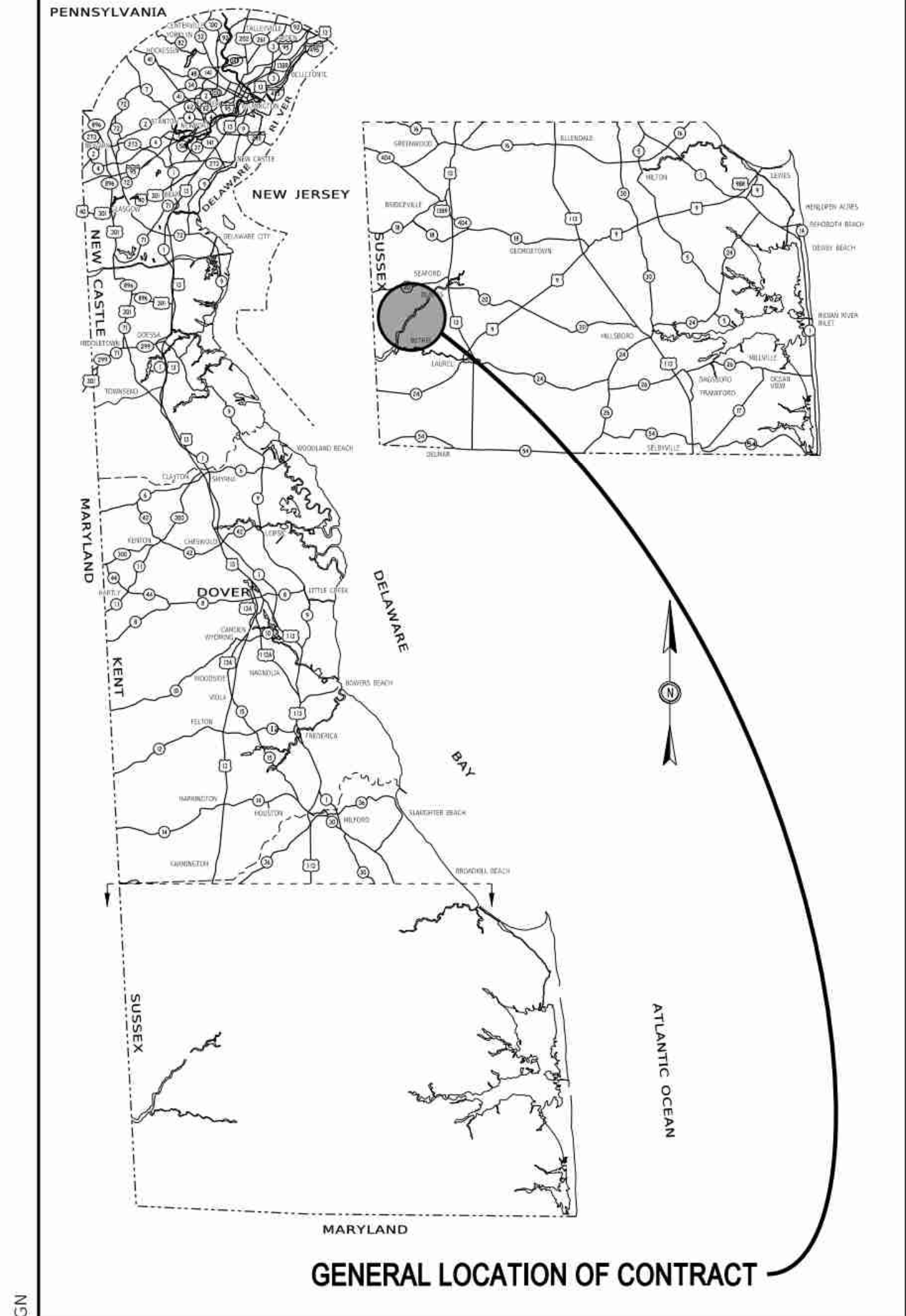


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THE STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION

U.S. CUSTOMARY
UNITS

FINAL PLANS



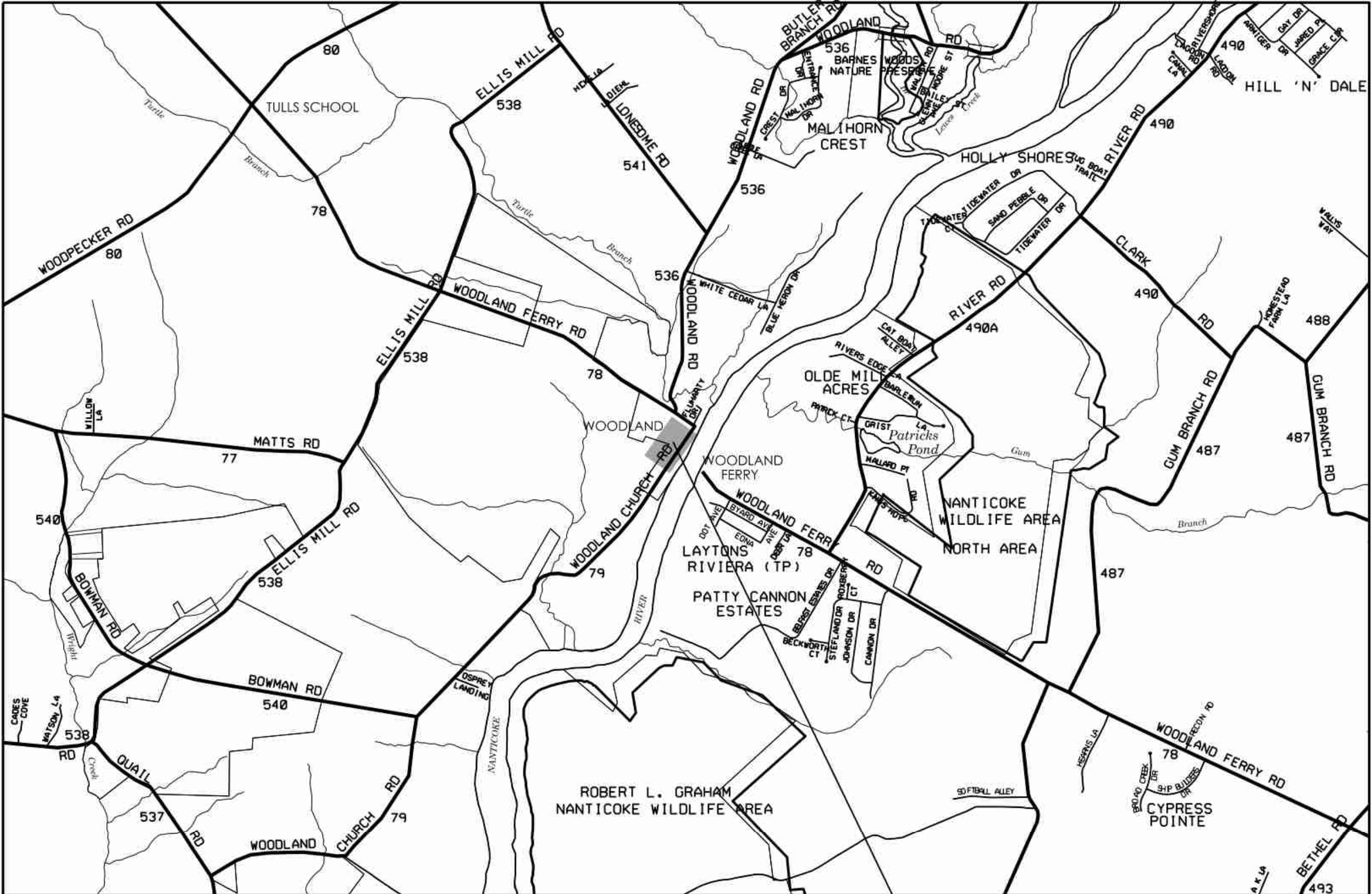
CONSTRUCTION PLANS FOR:

WOODLAND FERRY IMPROVEMENTS, FY22

CONTRACT NUMBER: T202280202

FEDERAL AID PROJECT NUMBER: ESTP-2021(30)

COUNTY: SUSSEX



INDEX OF SHEETS	
SHEET NO.:	TITLE
1	TITLE SHEET
2	LEGEND
3	NOTES
4	EXISTING CONDITIONS AND DEMOLITION PLAN
5	CONSTRUCTION PLAN
6	GRADES AND GEOMETRICS PLAN
7	CONSTRUCTION PHASING, M.O.T., AND EROSION CONTROL PLAN
8	LANDSCAPING PLAN
BUILDING RENOVATION PLANS	
1-26	SEE BUILDING RENOVATION COVER SHEET

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY APPLICABLE LAWS OF THE STATE OF DELAWARE.

MATTHEW GOUDY
750 SHIPYARD DRIVE, SUITE 350
WILMINGTON, DE 19801
(302) 468-4874

SIGNATURE: [Signature] DATE: July 1, 2026

LOCATION MAP
SCALE: N.T.S.

PROJECT SITE

APPROVED FOR ADVERTISEMENT

Pamela Steinebach
DIRECTOR OF MAINTENANCE AND OPERATIONS

7/6/26
DATE

PREPARED BY
THE CONSULTING FIRM OF



RUMMEL, KLEPPER & KAHL, LLP
CONSULTING ENGINEERS
750 SHIPYARD DRIVE
SUITE 350
WILMINGTON, DE 19801

[Signature]
PROJECT MANAGER

July 1, 2026
DATE



PREPARED FOR:
DELAWARE DEPARTMENT OF TRANSPORTATION
23697 DUPONT BOULEVARD
GEORGETOWN, DE 19947

PHONE: 302-853-1300

DATE: July 1, 2026

GENERAL NOTES

1.

THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE DELAWARE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", DATED JANUARY 2026 AND THE DELAWARE DEPARTMENT OF TRANSPORTATION "STANDARD CONSTRUCTION DETAILS", DATED 2026.
2.

ELECTRONIC DESIGN DATA FILES THAT WILL BE MADE AVAILABLE TO THE AWARDED CONTRACTOR, INCLUDE:

()	NONE
(X)	ASCII DATA FILES WITH COORDINATES AND ELEVATIONS FOR PROPOSED POINTS AS SELECTED BY THE ENGINEER.
()	EXISTING DIGITAL TERRAIN MODEL, IN .DTM FILE FORMAT, COMPATIBLE WITH SOFTWARE CURRENTLY USED BY DELDOT.
()	PROPOSED DIGITAL TERRAIN MODEL, IN .DTM FILE FORMAT, COMPATIBLE WITH SOFTWARE CURRENTLY USED BY DELDOT.
()	DESIGN FILE, IN .DGN FILE FORMAT, THAT CONTAINS 3D FEATURE LINES FOR THE PROPOSED DESIGN. 3D FEATURE LINES ARE FOR THE PROPOSED TOP SURFACE ELEVATION ONLY.

NOTE: THE DOCUMENT ENTITLED "RELEASE FOR DELIVERY OF DOCUMENTS IN ELECTRONIC FORM TO A CONTRACTOR" MUST BE SIGNED BY ALL PARTIES PRIOR TO THE DELIVERY OF ANY ELECTRONIC PROJECT FILES.

NOTE: THERE MAY BE SOME AREAS OF THE PROJECT NOT INCLUDED IN THE ELECTRONIC DESIGN DATA FILE(S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DESIGN DATA FILE AND DETERMINE THE LIMITS OF THE PROJECT INCLUDED.
3.

PROJECT FILES THAT WILL BE MADE AVAILABLE TO THE CONTRACTOR, INCLUDE:

()	CROSS SECTIONS
()	RIGHT-OF-WAY PLANS (WILL BE MADE AVAILABLE TO THE AWARDED CONTRACTOR)

PROJECT NOTES

SECTION 100

1.

ANY DAMAGE TO ITEMS NOTED TO BE RELOCATED OR RESET BY THE CONTRACTOR, AT THE DISCRETION OF THE ENGINEER, SHALL BE REPAIRED AND/OR REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
2.

NIGHT WORK IS NOT PERMITTED ON THIS PROJECT UNLESS THE CONTRACTOR OBTAINS: APPROVAL FROM THE ENGINEER, ACCEPTABLE RESPONSES ON NIGHT WORK SURVEYS, AND ACCEPTANCE FROM THE MUNICIPALITY. METHOD AND FORMAT OF NIGHT WORK SURVEYS WILL BE PROVIDED BY THE ENGINEER UPON REQUEST. NIGHT WORK, SURVEYS, AND COORDINATION WITH MUNICIPALITIES IS NOT COMPENSABLE AND THE TIME TO COMPLETE THE SURVEYS IS NOT EXCUSABLE.

SECTION 900

3.

THIS PROJECT IS COVERED UNDER AN NPDES GENERAL PERMIT FOR CONSTRUCTION. UNDER THE GENERAL PERMIT, COMPLIANCE WITH DELDOT'S APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLANS WILL CONSTITUTE COMPLIANCE WITH THE NPDES INDUSTRIAL PERMITTING REQUIREMENTS FOR THIS CONSTRUCTION PROJECT. A COPY OF THE NPDES GENERAL PERMIT AND NOI IS KEPT ON FILE IN EACH OF THE CONSTRUCTION OFFICES AND THE DEPARTMENT'S STORMWATER SECTION. A COPY OF THE GENERAL PERMIT OR THE NOI CAN BE OBTAINED UPON REQUEST FROM EITHER THE DEPARTMENT'S STORMWATER ENGINEER OR THE APPROPRIATE CONSTRUCTION ENGINEER.

MISCELLANEOUS NOTES

4.

THE PROPERTY LINES SHOWN HEREON ARE ASSOCIATED WITH THE BELOW PROPERTY OWNER INFORMATION:

PROPERTY ADDRESS:
5126 WOODLAND FERRY ROAD
SEAFORD, DE 19973
5.

LIMIT OF CONSTRUCTION AS SHOWN ON ALL OF THE CIVIL DRAWINGS SHALL BE MAINTAINED DURING CONSTRUCTION. ALL EXISTING FEATURES OUTSIDE THE LIMIT OF DISTURBANCE ARE TO REMAIN, UNLESS OTHERWISE NOTED. ITEMS OUTSIDE THESE LIMITS THAT ARE DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE RETURNED TO PRE-DEMOLITION CONDITIONS OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
6.

LOCATIONS OF INDIVIDUAL ELECTRIC SERVICE CONNECTIONS AS SHOWN HEREON ARE APPROXIMATE. PRIOR TO ANY EXCAVATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCURATELY DETERMINE THE LOCATION OF THESE LINES BEFORE COMMENCING WORK. CONTACT "MISS UTILITY" AT 1-800-282-8555.
7.

CONTRACTOR TO SUBMIT TRAFFIC CONTROL PLAN FOR ENGINEER TO REVIEW, PRIOR TO IMPLEMENTATION.
8.

ALL CURB, SIDEWALK, AND PAVEMENT DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN KIND. AS-BUILT PLANS ARE REQUIRED FOR ALL STORM DRAINAGE.
9.

ALL SIDEWALKS IMPACTED BY THE SITE/UTILITY CONSTRUCTION SHALL BE REPLACED IN KIND. ALL CURB RAMPS IMPACTED BY THE SITE/UTILITY CONSTRUCTION SHALL BE REPLACED WITH CURB RAMPS THAT MEET CURRENT ADA STANDARDS. ALL CURBS IMPACTED BY THE SITE/UTILITY CONSTRUCTION SHALL BE REPLACED IN KIND, UNLESS OTHERWISE NOTED.
10.

ANY DAMAGE CAUSED TO ROADS, CURBS, HOT-MIX, SIGNS, UTILITIES, ETC. WITHIN THE STREET RIGHT-OF-WAYS DURING THE COURSE OF CONSTRUCTION WILL BE REPAIRED OR REPLACED TO THE SATISFACTION OF DELDOT AT THE CONTRACTOR'S EXPENSE.
11.

FOR PRELIMINARY SUBDIVISION AND SITE PLANS, APPROVAL SHALL EXPIRE WITHIN FIVE (5) YEARS OF THE PRELIMINARY PLAN APPROVAL UNLESS THE REQUIRED BUILDING PERMIT HAS BEEN ISSUED. A ONE (1) YEAR EXTENSION MAY BE REQUESTED WHERE ALLOWED BY CODE.
12.

THE CONTRACTOR SHALL REMOVE AND RESET ALL MAILBOXES TO MAINTAIN MAIL SERVICE AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL RELOCATE MAILBOXES AS REQUIRED BY THE PROPOSED GEOMETRICS AND AS DIRECTED BY THE ENGINEER. WHEN RELOCATING MAILBOXES IN CURBED SECTIONS, THE FACE OF THE MAILBOX SHALL BE FLUSH WITH THE BACK EDGE OF CURB. WHEN RELOCATING MAILBOXES IN OPEN SECTIONS, THE FACE OF THE MAILBOX SHALL SET BACK 8 INCHES FROM THE EDGE OF THE PAVED SHOULDER. THE BOTTOM OF THE MAILBOX SHALL BE POSITIONED IN ACCORDANCE WITH THE LATEST VERSION OF THE UNITED STATES POSTAL SERVICE GUIDELINES. MAILBOXES LOCATED AT DRIVEWAY ENTRANCES SHALL BE PLACED ON THE FAR SIDE OF THE DRIVEWAY IN THE DIRECTION OF TRAVEL. POSTS BEING RESET IN CONCRETE SIDEWALK SHALL BE IN AN APPROPRIATE SIZE PVC SLEEVE. ACCEPTABLE POST SHALL BE 4 INCH X 4 INCH WOOD POST OR 4 INCH DIAMETER WOOD POST. FOR RELOCATING MULTIPLE MAILBOXES TOGETHER ALL POST SHALL BE SEPARATED BY A DISTANCE OF NO LESS THAN 3/4 OF THEIR FULL HEIGHT ABOVE THE GROUND. MULTIPLE MAILBOXES ATTACHED TO A SINGLE HORIZONTAL BOARD SHALL NOT BE LOCATED INSIDE THE CLEARZONE. EACH MAILBOX SHALL BE PLACED ON AN INDIVIDUAL POST MEETING THE CRITERIA ABOVE. ALL MAILBOXES SHALL BE SET NOT TO IMPEDE THE MINIMUM PAR (PEDESTRIAN ACCESS ROUTE) WIDTH AS DETERMINED BY THE CURRENT EDITION OF THE PEDESTRIAN ACCESSIBILITY STANDARDS FOR FACILITIES IN THE PUBLIC RIGHT OF WAY.IF MAILBOXES ARE NOT SET IN ACCORDANCE WITH THE ABOVE DIRECTIONS, RESETTNG OF THE MAILBOXES WILL BE AT THE COST OF THE CONTRACTOR. COST FOR ALL WORK AND MATERIALS SHALL BE PAID UNDER ITEM 201000 - CLEARING AND GRUBBING.
13.

THE CONTRACTOR SHALL NOT DISTURB THE EXISTING SEPTIC DRAINAGE FIELD AND STRUCTURES.
14.

IN ACCORDANCE WITH STIPULATION III OF THE PROJECT PROGRAMMATIC AGREEMENT, A QUALIFIED PROFESSIONAL ARCHAEOLOGIST UNDER STIPULATION VI.A. WITH PREVIOUS EXPERIENCE MONITORING CONSTRUCTION WORK WILL BE PRESENT AT THE PROJECT TO OBSERVE AND DOCUMENT ANY EVIDENCE OF ACHAEOLOGICAL RESOURCES. IF ARCHAEOLOGICAL RESOURCES ARE OBSERVED, THE PROCEDURES UNDER STIPULATION IV. WILL BE FOLLOWED.

SITE DATA

1.

OWNER: STATE OF DELAWARE
P.O. BOX 78
DOVER, DE 19901
2.

TAX PARCEL NO. 531-18.00-13.00
3.

ZONING: ST
4.

SITE ADDRESS: 5126 WOODLAND FERRY ROAD, SEAFORD DE 19973
5.

FLOOD ZONE DESIGNATION: ZONE AE
6.

WETLANDS PRESENT: NONE
7.

BUILDING AREA

EXISTING: 471 SF (TO BE DEMOLISHED)
PROPOSED: 972 SF
TOTAL: 972 SF
8.

PARKING RATIONALE

	STANDARD	HANDICAP
EXISTING	3	1
ADDITIONAL FROM IMPROVEMENT	0	0
TOTAL PROVIDED	3	1
9.

SITE DEVELOPMENT AREA

	EXISTING	PROPOSED
	PROJECT AREA	PROJECT AREA
BUILDING (SF)	471	972
PAVEMENT/SIDEWALK (SF)	6,262	6,495
OPEN (SF)	25,700	24,966
TOTAL (SF)	32,443	32,443
10.

BUILDING HEIGHT: 21'-0" SINGLE STORY
11.

PARCEL AREA: 0.75 ACRES
12.

PROJECT NOT WITHIN A WELLHEAD PROTECTION AREA
13.

PROJECT NOT WITHIN A DESIGNATED AREA HAVING "EXCELLENT GROUNDWATER RECHARGE POTENTIAL".
14.

SPRINKLER: SPRINKLER SYSTEM IS NOT REQUIRED FOR THE PROPOSED BUILDING.
15.

FIRE ALARM: A FIRE PROTECTION SYSTEM IS PROPOSED FOR THE EXISTING BUILDING AND EXPANSION AREA.
16.

BUILDING: BUILDING CONSTRUCTION TYPE IS V(0000), PLEASE REFERENCE THE BUILDING PLANS.
17.

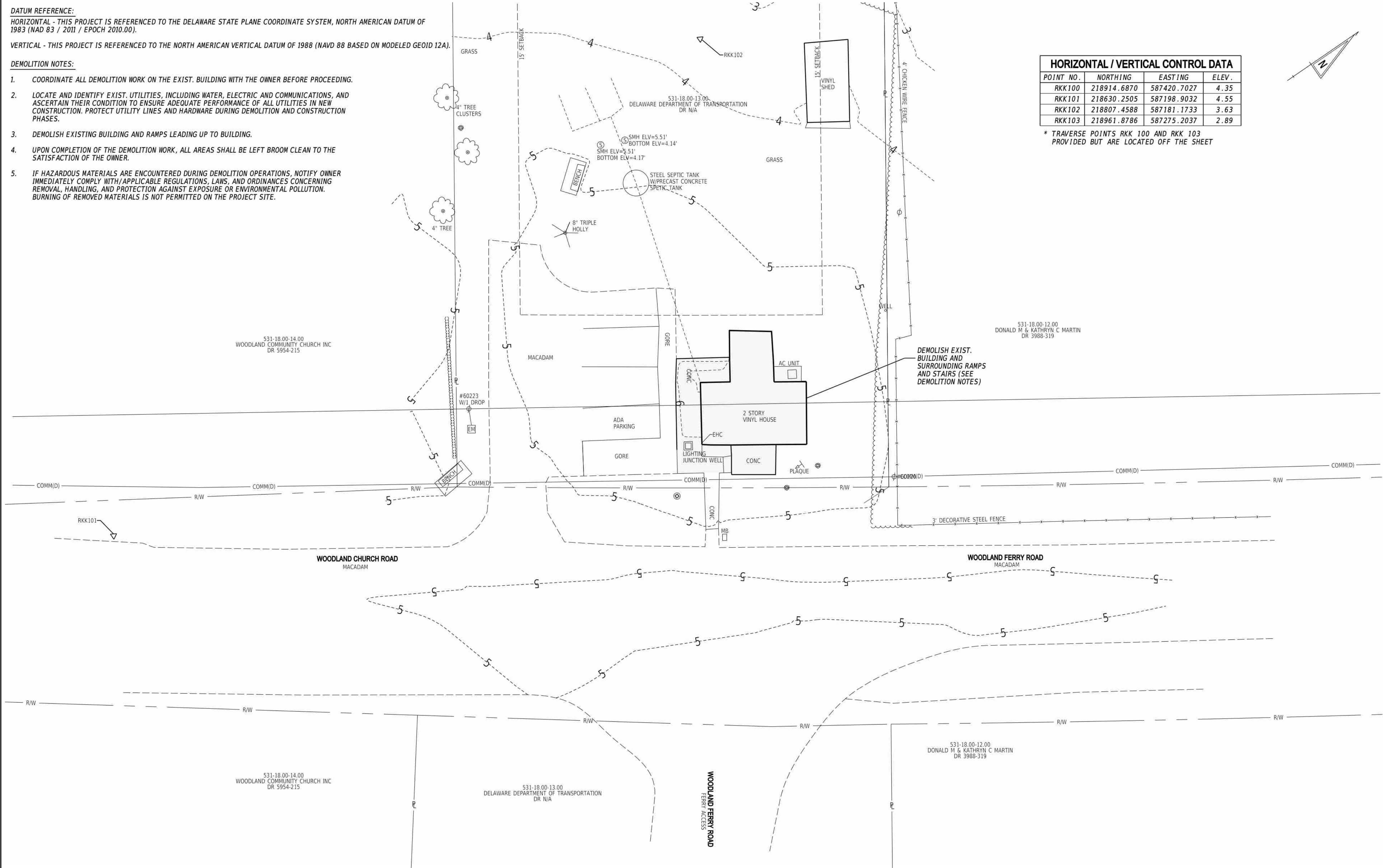
WATER SERVICES: THE EXISTING AND PROPOSED BUILDING ARE FED THROUGH AN EXISTING WELL THAT IS LOCATED ALONG THE RIGHT SIDE OF THE EXISTING PROPERTY.

DATUM REFERENCE:
HORIZONTAL - THIS PROJECT IS REFERENCED TO THE DELAWARE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD 83 / 2011 / EPOCH 2010.00).
VERTICAL - THIS PROJECT IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88 BASED ON MODELED GEOID 12A).

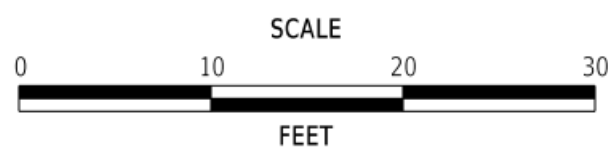
- DEMOLITION NOTES:
- COORDINATE ALL DEMOLITION WORK ON THE EXIST. BUILDING WITH THE OWNER BEFORE PROCEEDING.
 - LOCATE AND IDENTIFY EXIST. UTILITIES, INCLUDING WATER, ELECTRIC AND COMMUNICATIONS, AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING DEMOLITION AND CONSTRUCTION PHASES.
 - DEMOLISH EXISTING BUILDING AND RAMPS LEADING UP TO BUILDING.
 - UPON COMPLETION OF THE DEMOLITION WORK, ALL AREAS SHALL BE LEFT BROOM CLEAN TO THE SATISFACTION OF THE OWNER.
 - IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, NOTIFY OWNER IMMEDIATELY COMPLY WITH/APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.

HORIZONTAL / VERTICAL CONTROL DATA			
POINT NO.	NORTHING	EASTING	ELEV.
RKK100	218914.6870	587420.7027	4.35
RKK101	218630.2505	587198.9032	4.55
RKK102	218807.4588	587181.1733	3.63
RKK103	218961.8786	587275.2037	2.89

* TRAVERSE POINTS RKK 100 AND RKK 103 PROVIDED BUT ARE LOCATED OFF THE SHEET



ADDENDA / REVISIONS



WOODLAND FERRY IMPROVEMENTS, FY 22

CONTRACT	BRIDGE NO.	N/A
T202280202	DESIGNED BY:	M. MAYES
COUNTY	CHECKED BY:	M. GOUDY
SUSSEX		

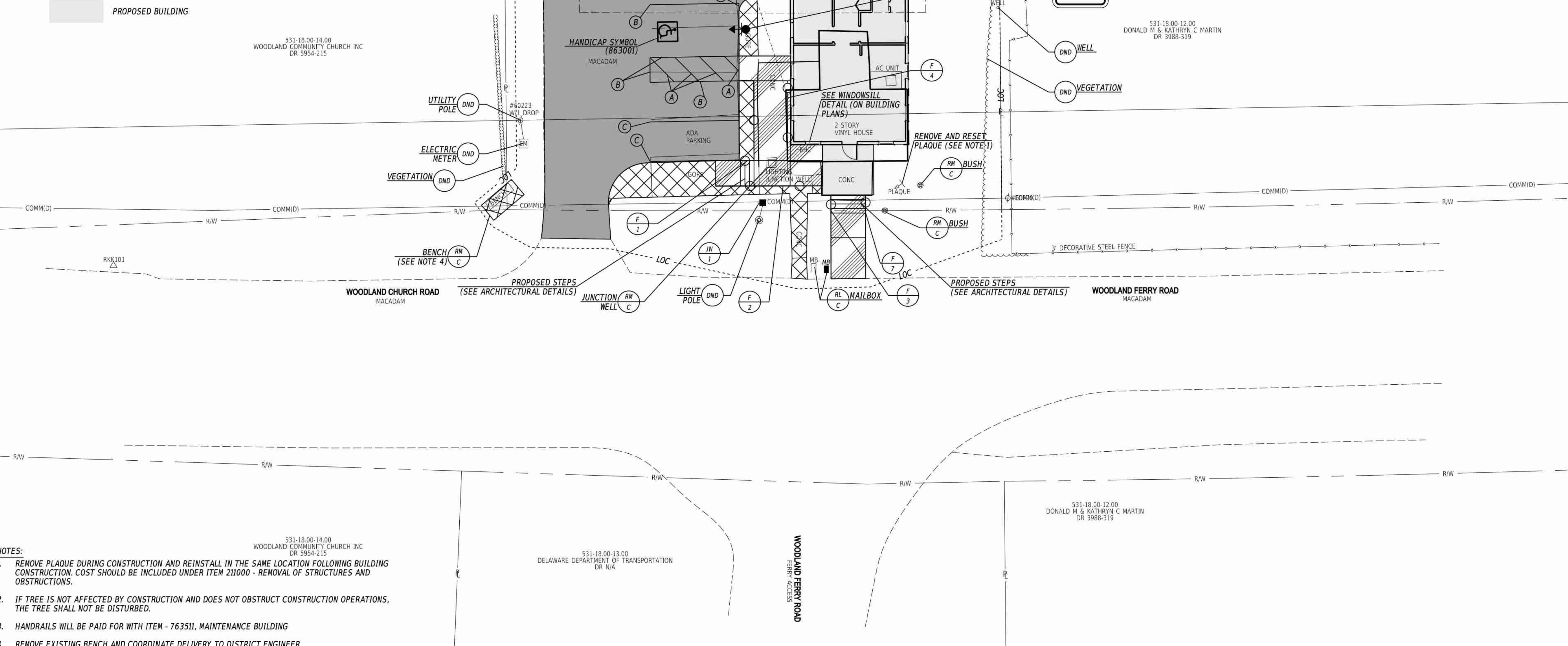
EXISTING CONDITIONS AND DEMOLITION PLAN

SECTION
RKK
SHEET NO.
4

JUNCTION WELL SCHEDULE				
NO.	NORTHING	EASTING	BOX SIZE	INVERT EL.
1	218746.3485	587262.4476	24" X 24"	2.95'

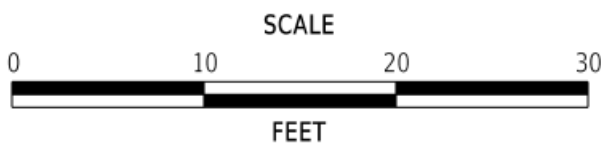
PAVEMENT MARKINGS LEGEND		
SYM	ITEM	QUANTITY
(A)	PERMANENT PAVEMENT STRIPING, EPOXY RESIN PAINT, 12", BLUE (ITEM 861002)	25 LF
(B)	PERMANENT PAVEMENT STRIPING, EPOXY RESIN PAINT, 6", BLUE (ITEM 861001)	64 LF
(C)	PERMANENT PAVEMENT STRIPING, EPOXY RESIN PAINT, 6", WHITE (ITEM 861001)	36 LF
	PREFORMED RETROREFLECTIVE MARKINGS, ALKYD-THERMOPLASTIC, ACCESSIBLE PARKING SPACE MARKING (ITEM 863001)	1 EACH

HANDRAIL SCHEDULE			
NO.	QTY.	DESCRIPTION	NOTES
1	19 LF	POWDER COATED STEEL HANDRAIL, SEE NOTE 3	SEE ARCHITECTURE DETAILS
2	17 LF	POWDER COATED STEEL HANDRAIL, SEE NOTE 3	SEE ARCHITECTURE DETAILS
3	4 LF	POWDER COATED STEEL HANDRAIL, SEE NOTE 3	SEE ARCHITECTURE DETAILS
4	18 LF	POWDER COATED STEEL HANDRAIL, SEE NOTE 3	SEE ARCHITECTURE DETAILS
5	9 LF	POWDER COATED STEEL HANDRAIL, SEE NOTE 3	SEE ARCHITECTURE DETAILS
6	9 LF	POWDER COATED STEEL HANDRAIL, SEE NOTE 3	SEE ARCHITECTURE DETAILS
7	4 LF	POWDER COATED STEEL HANDRAIL, SEE NOTE 3	SEE ARCHITECTURE DETAILS



- NOTES:
- REMOVE PLAQUE DURING CONSTRUCTION AND REINSTALL IN THE SAME LOCATION FOLLOWING BUILDING CONSTRUCTION. COST SHOULD BE INCLUDED UNDER ITEM 211000 - REMOVAL OF STRUCTURES AND OBSTRUCTIONS.
 - IF TREE IS NOT AFFECTED BY CONSTRUCTION AND DOES NOT OBSTRUCT CONSTRUCTION OPERATIONS, THE TREE SHALL NOT BE DISTURBED.
 - HANDRAILS WILL BE PAID FOR WITH ITEM - 763511, MAINTENANCE BUILDING
 - REMOVE EXISTING BENCH AND COORDINATE DELIVERY TO DISTRICT ENGINEER.

ADDENDA / REVISIONS



WOODLAND FERRY IMPROVEMENTS, FY 22

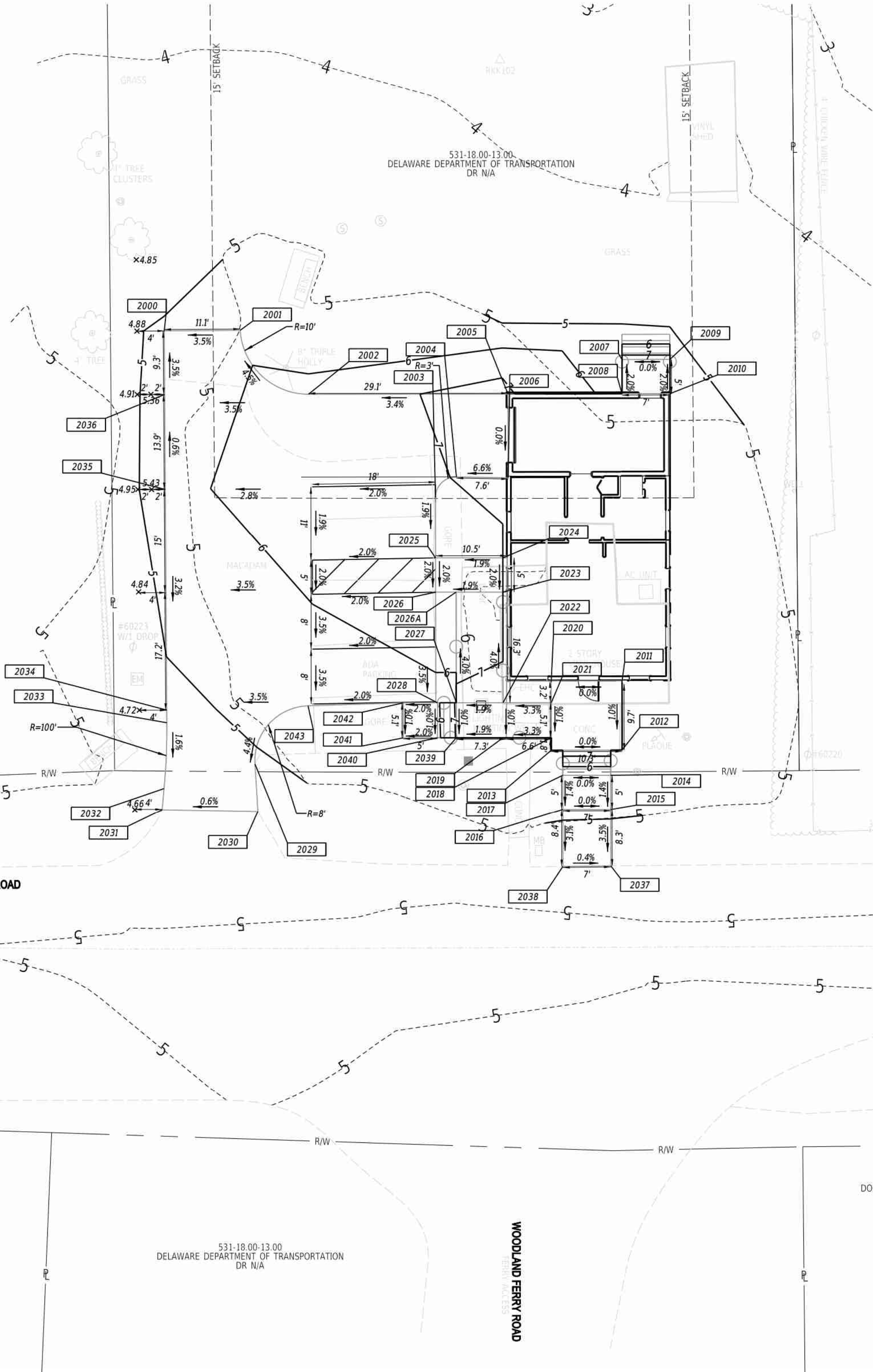
CONTRACT	BRIDGE NO.	N/A
T202280202	DESIGNED BY:	M. MAYES
COUNTY	CHECKED BY:	M. GOUDY
SUSSEX		

CONSTRUCTION PLAN

SECTION
RKK
SHEET NO.
5

COORDINATE LIST			
POINT	NORTHING	EASTING	ELEVATION
2000	218744.6392	587185.9217	5.36
2001	218753.8051	587192.1467	5.75
2002	218756.7441	587205.4940	6.43
2003	218763.4772	587228.4118	6.72
2004	218767.6980	587227.6724	6.91
2005	218773.8428	587232.0783	7.42
2006	218780.7655	587221.9959	7.42
2007	218797.3285	587227.2831	7.40
2008	218794.4974	587231.4043	7.50
2009	218803.0992	587231.2453	7.40
2010	218800.2680	587235.3665	7.50
2011	218770.6088	587266.0859	7.50
2012	218764.9769	587274.2884	7.40
2013	218756.4594	587268.4402	7.40
2014	218761.5268	587276.3672	5.12
2015	218758.6956	587280.4885	5.05
2016	218752.9249	587276.5263	5.05
2017	218755.7561	587272.4050	5.12
2018	218757.4960	587266.9280	7.42
2019	218751.6904	587262.9398	7.19
2020	218762.0901	587260.2370	7.50
2021	218760.3881	587262.7160	7.47
2022	218754.5835	587258.7284	7.24
2023	218763.7221	587245.4255	6.59
2024	218766.5532	587241.3043	6.69
2025	218758.4463	587235.7351	6.51
2026	218755.6151	587239.8563	6.41
2026A	218758.0879	587241.5550	6.46
2027	218748.9493	587254.8579	7.11
2028	218746.6826	587253.3007	5.85
2029	218719.6600	587245.5448	4.89

531-18.00-14.00
WOODLAND COMMUNITY CHURCH INC
DR 5954-215

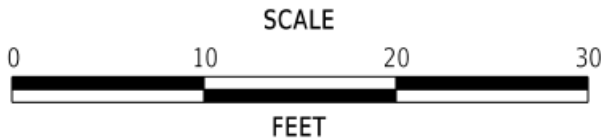


COORDINATE LIST			
POINT	NORTHING	EASTING	ELEVATION
2030	218716.0839	587251.5013	4.58
2031	218704.7005	587243.3703	4.50
2032	218706.6952	587240.9676	4.55
2033	218712.4794	587233.2750	4.70
2034	218713.5125	587231.7539	4.75
2035	218731.6376	587205.0658	5.77
2036	218739.4263	587193.5972	5.69
2037	218754.0011	587287.3222	4.76
2038	218748.1931	587283.4142	4.79
2039	218746.0562	587259.0693	7.06
2040	218743.7895	587257.5121	5.80
2041	218739.6683	587254.6810	5.70
2042	218742.5614	587250.4696	5.75
2043	218730.8593	587242.9425	5.46

531-18.00-12.00
DONALD M & KATHRYN C MARTIN
DR 3988-319

531-18.00-12.00
DONALD M & KATHRYN C MARTIN
DR 3988-319

ADDENDA / REVISIONS

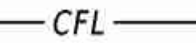
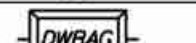
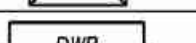
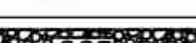
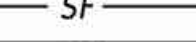
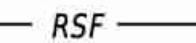
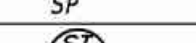
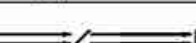


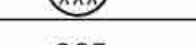
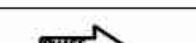
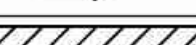
WOODLAND FERRY
IMPROVEMENTS, FY 22

CONTRACT	BRIDGE NO.	N/A
T202280202	DESIGNED BY:	M. MAYES
COUNTY	CHECKED BY:	M. GOUDY
SUSSEX		

GRADES AND
GEOMETRICS

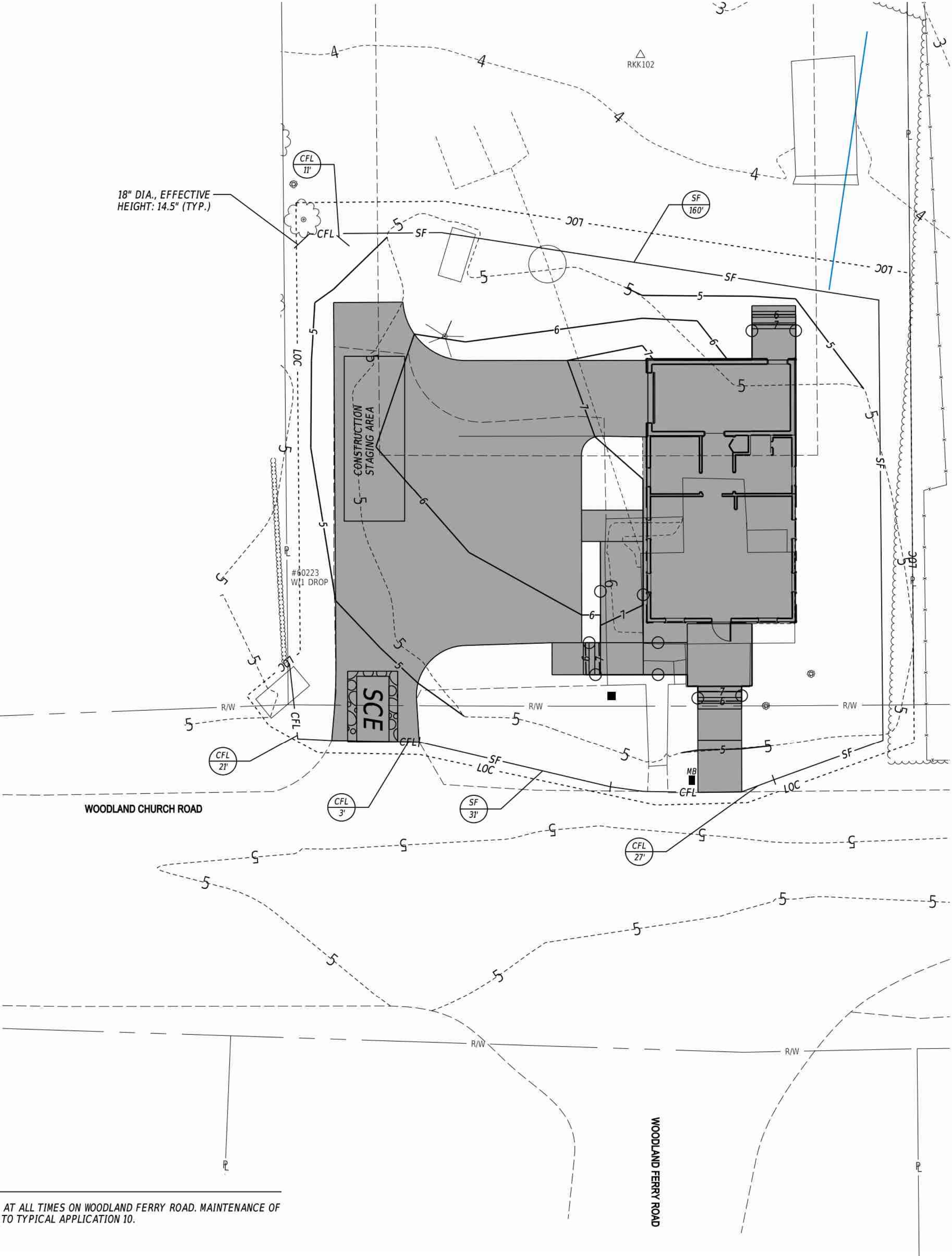
SECTION
RKK
SHEET NO.
6

EROSION & SEDIMENT CONTROL	
	COMPOST FILTER LOG
	COMPOST FILTER LOG / LENGTH
	DEWATERING BAG
	DEWATERING BASIN
	EARTH DIKE
	INLET SEDIMENT CONTROL
	PERIMETER DIKE/SWALE
	PORTABLE SEDIMENT TANK
	SANDBAG DIKE
	SANDBAG DIVERSION
	STONE CHECK DAM
	STABILIZED CONSTRUCTION ENTRANCE
	SILT FENCE / LENGTH
	SILT FENCE
	REINFORCED SILT FENCE / LENGTH
	REINFORCED SILT FENCE
	SUPER SILT FENCE / LENGTH
	SUPER SILT FENCE
	SUMP PIT
	SEDIMENT TRAP / NUMBER
	SEDIMENT TRAP
	SEDIMENT TRAP WITH INLET AS OUTLET
	SEDIMENT TRAP PIPE OUTLET
	STILLING WELL
	TEMPORARY SWALE
	TEMPORARY SLOPE DRAIN
	TURBIDITY CURTAIN / LENGTH
	TURBIDITY CURTAIN

CONSTRUCTION PHASING & M.O.T	
	BARRICADE, TYPE 3
	CONCRETE SAFETY BARRIER - PORTABLE
	CONSTRUCTION SAFETY FENCE / LENGTH
	CONSTRUCTION SAFETY FENCE
	CONSTRUCTION WARNING SIGN LOCATION
	CONSTRUCTION WARNING SIGN
	CRASH CUSHION ARRAY
	DRUM - TRAFFIC CONTROL
	FLAGGER LOCATION
	PHASING TRAFFIC FLOW ARROW
	TEMPORARY CONSTRUCTION
	TEMPORARY PAVEMENT MARKING ARROW
	TRUCK WITH MOUNTED ATTENUATOR
	WORK AREA - ACTIVE PHASE

TRAFFIC CONTROL

- UNLESS DIRECTED BY THE ENGINEER, ONE LANE SHALL REMAIN OPEN AT ALL TIMES ON WOODLAND FERRY ROAD. MAINTENANCE OF TRAFFIC DURING LANE CLOSURES AND LANE SHIFTS SHALL CONFORM TO TYPICAL APPLICATION 10.
- USE TA-3 FOR TRUCK ENTERING AND EXITING.



GENERAL SEQUENCE OF CONSTRUCTION

- SET UP STAGING AREA IN ACCORDANCE WITH THE CONSTRUCTION PHASING PLANS.
- INSTALL THE PERIMETER CONTROLS. REMOVE VEGETATION AS NEEDED TO INSTALL PERIMETER CONTROLS.
- DEMOLISH EXISTING BUILDING IN ACCORDANCE WITH THE DEMOLITION PLAN. COORDINATE SHUTOFFS WITH EXISTING UTILITIES.
- CLEAR AND GRUB AND PREPARE GRADING WITHIN BUILDING EXPANSION AREA FOR BUILDING CONSTRUCTION.
- CONSTRUCT BUILDING IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. COORDINATE CONNECTIONS WITH EXISTING UTILITIES INCLUDING WATER, ELECTRIC AND COMMUNICATIONS
- REMOVE EXISTING PAVEMENT, SIDEWALK AND CURB RAMPS AS REQUIRED WITHIN THE WORK AREA AND ROUGH GRADE TO PROPOSED SUBGRADE.
- FINAL GRADE AND CONSTRUCT SIDEWALK AND PAVEMENT AS SHOWN ON PLANS. ADJUST UTILITIES WITHIN THE WORK AREA.
- INSTALL PROPOSED LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPING PLANS.
- 6" TOPSOIL (ITEM 908004), SEED (ITEM 908014), AND MULCH (ITEM 908026) SHALL BE INSTALLED TO STABILIZE THE PROJECT SITE AND SHALL BE INSTALLED IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS.
- INSTALL PROPOSED SIGNING AND STRIPING AND SECURITY CAMERAS AS SHOWN ON THE PLANS.
- REMOVE ALL TRAFFIC CONTROLS AND ADVANCED WARNING SIGNAGE.
- REMOVE ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER FINAL VEGETATIVE STABILIZATION OF ALL DISTURBED AREAS AS APPROVED BY THE ENGINEER.

EROSION AND SEDIMENT CONTROL NOTES

- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN APPROVED BY DELDOT'S STORMWATER ENGINEER UNDER DELDOT'S DELEGATED AUTHORITY. PLAN APPROVAL IS VALID FOR A FIVE YEAR PERIOD BEGINNING ON THE DATE OF THE STORMWATER ENGINEER'S SIGNATURE. IF THE FINAL ACCEPTANCE OF THE PROJECT IS ANTICIPATED TO EXTEND BEYOND THE FIVE YEARS, NOTIFY THE ENGINEER THREE MONTHS PRIOR TO THE EXPIRATION. ANY DEVIATIONS TO THE SWPPP NEED APPROVAL FROM THE ENGINEER.

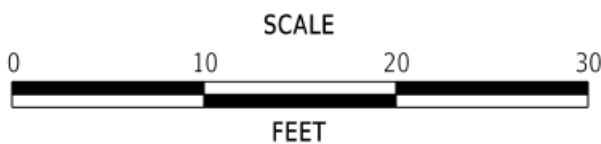
	05/15/2026
DELDOT STORMWATER ENGINEER	DATE
"I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS MEET THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS."	

AMOUNT OF DISTURBED AREA FOR THE PROJECT	0.2 AC
ADDED IMPERVIOUS FOR THE PROJECT	893 SF
HUC-10 WATERSHED	N/A

- FOR FULL DEPTH PAVEMENT CONSTRUCTION, SIDEWALK CONSTRUCTION AND/OR UTILITY RELOCATIONS, BARE SOILS SHALL BE COVERED WITHIN THREE (3) CALENDAR DAYS TO PREVENT EROSION. THIS CAN BE ACCOMPLISHED BY PLACING PROPOSED SUBBASE MATERIAL SUCH AS GRADED AGGREGATE BASE COURSE (GABC) OR GEOTEXTILE/PLASTIC SHEETING THAT IS SECURED SO AS TO NOT BLOW AWAY OR BE UNDERMINED BY RUNOFF.
- THE CONTRACTOR SHALL NOT DISTURB ANY AREA OUTSIDE OF THE LIMIT OF CONSTRUCTION AS SHOWN ON THE PLANS.

		Woodland Ferry Road Allowable Lane Closure Hours																							
		12:00 AM	1:00 AM	2:00 AM	3:00 AM	4:00 AM	5:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	12:00 PM
SUNDAY																									
MONDAY																									
TUESDAY																									
WEDNESDAY																									
THURSDAY																									
FRIDAY																									
SATURDAY																									
		TRAVEL LANE AND TURN LANE CLOSURE ALLOWED NO TRAVEL LANE OR TURN LANE CLOSURE ALLOWED																							

ADDENDA / REVISIONS



WOODLAND FERRY IMPROVEMENTS, FY 22

CONTRACT	BRIDGE NO.	N/A
T202280202	DESIGNED BY:	M. MAYES
COUNTY	CHECKED BY:	M. GOUDY
SUSSEX		

CONSTRUCTION PHASING, M.O.T., AND EROSION CONTROL PLAN

SECTION
RKK
SHEET NO.
7

PLANT LIST								
	SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	SPACING
TREES		CC	<i>Cercis canadensis</i>	Forest Pansy	1	1.5-2" CAL.	AS SHOWN	AS SHOWN
		AG	<i>Amelanchier canadensis</i>	Serviceberry	1	1.5-2" CAL.	AS SHOWN	AS SHOWN
SHRUBS		VD	<i>Viburnum dentatum</i>	Southern Arrowwood	3	#7 CONT.	AS SHOWN	AS SHOWN
		KL	<i>Kalmia Latifolia</i> 'Elf'	Mountain Laurel	7	#7 CONT.	AS SHOWN	AS SHOWN
HERBACEOUS/ GRASSES		av	<i>Andropogon virginicus</i>	Bluestem	9	#3 CONT.	AS SHOWN	AS SHOWN
		ls	<i>Liatrus spicata</i>	Gayfeather, Blazingstar	4	#3 CONT.	AS SHOWN	AS SHOWN
		pv	<i>Panicum Virgatum</i>	Switchgrass	5	#3 CONT.	AS SHOWN	AS SHOWN
PERMANENT GRASS SEEDING, SUBDIVISION					442 SY			
TREE MULCH BED					9 SY			
CONSTRUCTED PLANTING BED WITH MULCH					38 SY			

LANDSCAPE NOTES:

1. ALL LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS AND THE SPECIAL PROVISIONS FOR SECTION 911 - PLANTING.
2. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL QUANTITIES SHOWN ON THE PLANS WITH THE TOTALS IN THE PLANT SCHEDULE. WHERE DISCREPANCIES OCCUR BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL GOVERN.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO INSTALLATION OF PLANTING.
4. ALL PLANTING OPERATIONS SHALL BE UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSMAN.
7. NO PLANT MATERIAL SHALL BE PLANTED WITHIN ROADWAY SIGN SIGHT LINES.
8. ALL STREET TREES SHALL HAVE STRAIGHT TRUNKS, A SINGLE LEADER AND SHALL BE FREE OF BRANCHING A MINIMUM 7 FOOT HEIGHT ABOVE GRADE.
9. FOR THE PLANT ESTABLISHMENT PERIOD AND FOR LANDSCAPE MAINTENANCE RESPONSIBILITY FOLLOWING FINAL ACCEPTANCE, SEE THE SPECIAL PROVISIONS.
10. STONE COBBLE INSTALLATION:
INSTALL WASHED STONE COBBLE, 3-4" DIAMETER, UNIFORMLY ACROSS DESIGNATED AREAS AS SHOWN ON PLAN.

STONE COBBLE SHALL BE PLACED AT A MINIMUM DEPTH OF 6 INCHES, ENSURING FULL COVERAGE WITHOUT GAPS.

BENEATH ALL STONE COBBLE, INSTALL A NON-WOVEN GEOTEXTILE FABRIC LINER TO PREVENT WEED GROWTH AND SOIL MIGRATION.

FABRIC SHALL BE PINNED SECURELY AND OVERLAP A MINIMUM OF 6 INCHES AT ALL SEAMS.

EDGES OF STONE COBBLE AREAS SHALL BE CONTAINED USING STEEL EDGING, CONCRETE CURB, OR OTHER APPROVED RESTRAINT TO PREVENT MIGRATION INTO ADJACENT SURFACES.

CONTRACTOR SHALL VERIFY FINAL PLACEMENT FOR UNIFORMITY, CLEANLINESS, AND CONFORMANCE WITH DESIGN INTENT.

PROVIDE STONE COBBLE SAMPLE FOR APPROVAL BY OWNER PRIOR TO DELIVERY/INSTALLATION OF STONE COBBLE.
11. ALL PLANTING BEDS ADJACENT TO TURFGRASS SHALL BE DEFINED BY A CLEAN, CONTINUOUS V-CUT EDGE.

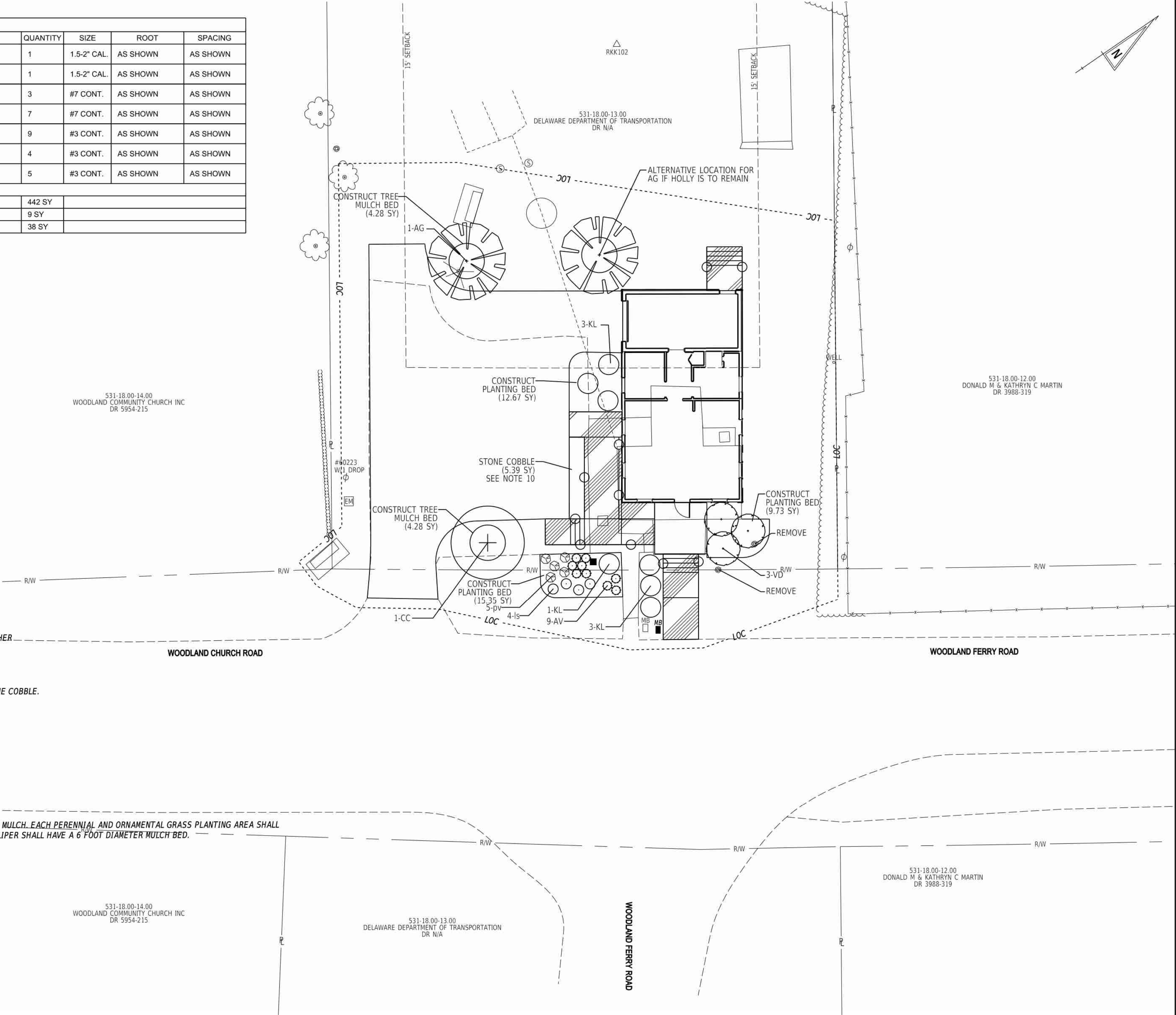
EDGE SHALL BE CUT TO A DEPTH OF 3-4 INCHES AND ANGLED TO FORM A DISTINCT TRENCH WITH A 45-DEGREE SLOPE ON THE TURF SIDE.

EDGE SHALL BE MAINTAINED TO PREVENT TURF ENCROACHMENT AND PRESERVE BED DEFINITION.

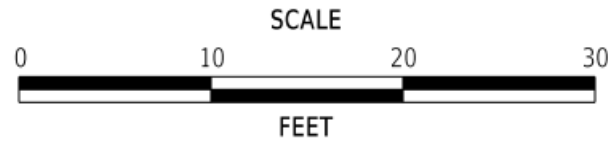
NO PLASTIC, METAL, OR STONE EDGING SHALL BE USED UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL ENSURE SMOOTH, FLOWING LINES THAT MATCH THE LAYOUT SHOWN ON THE PLAN.

RECUT EDGES AS NEEDED DURING MAINTENANCE TO MAINTAIN CRISP APPEARANCE. HARDWOOD BARK MULCH, EACH PERENNIAL AND ORNAMENTAL GRASS PLANTING AREA SHALL BE SPREAD WITH 2 INCH DEEP SHREDDED HARDWOOD BARK MULCH.6. ALL TREES UP TO 2½ INCH CALIPER SHALL HAVE A 6 FOOT DIAMETER MULCH BED. EACH TREE AND SHRUB PLANTING AREA SHALL BE SPREAD WITH 4 INCH DEEP SHREDDED



ADDENDA / REVISIONS



WOODLAND FERRY IMPROVEMENTS, FY 22

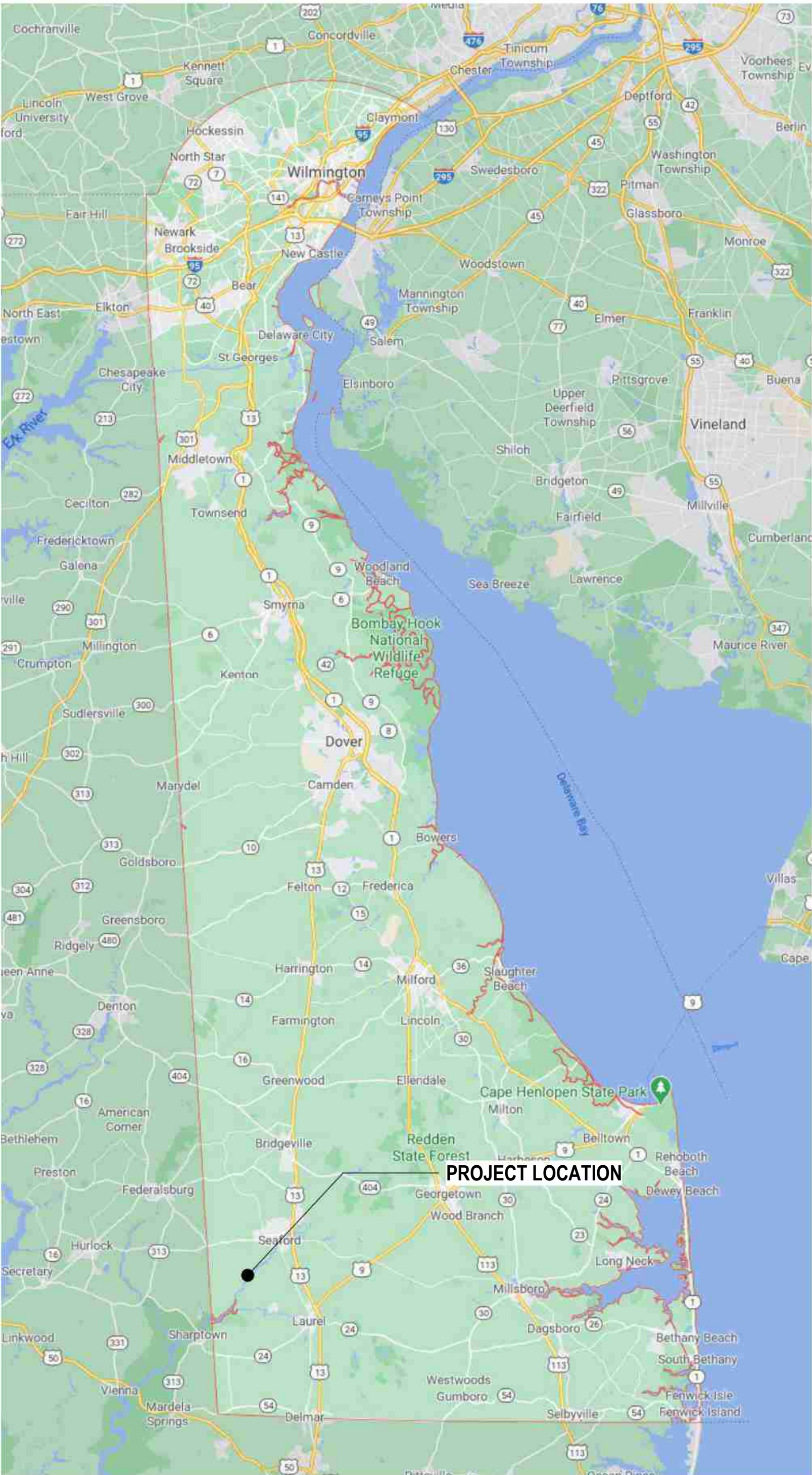
CONTRACT	BRIDGE NO.	N/A	LANDSCAPING PLAN	SECTION
T202280202	DESIGNED BY:	M. MAYES		RKK
COUNTY	CHECKED BY:	M. GOUDY		SHEET NO.
SUSSEX				8

DELAWARE DEPARTMENT OF TRANSPORTATION

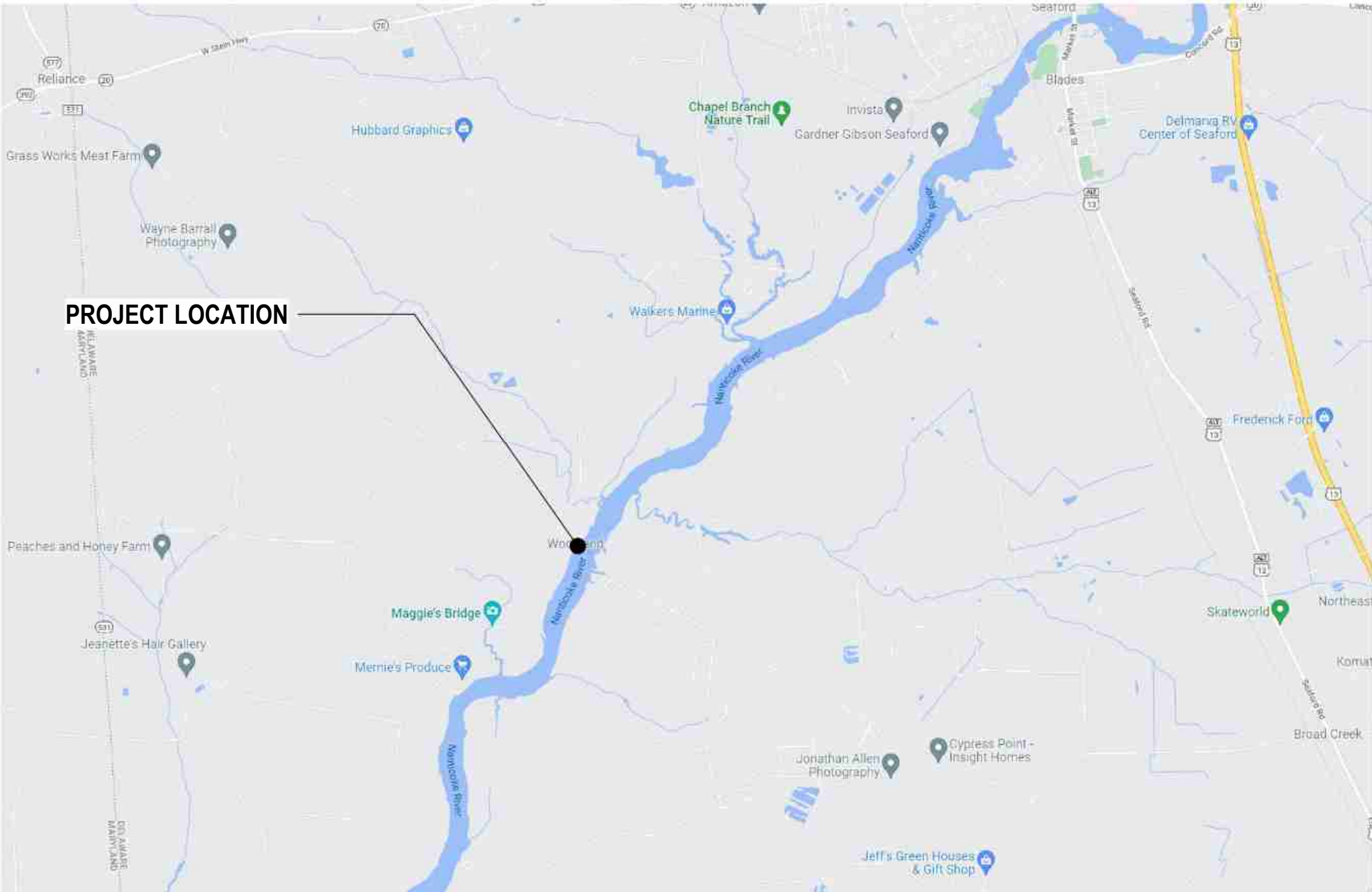
NEW CONSTRUCTION

WOODLAND FERRY HOUSE

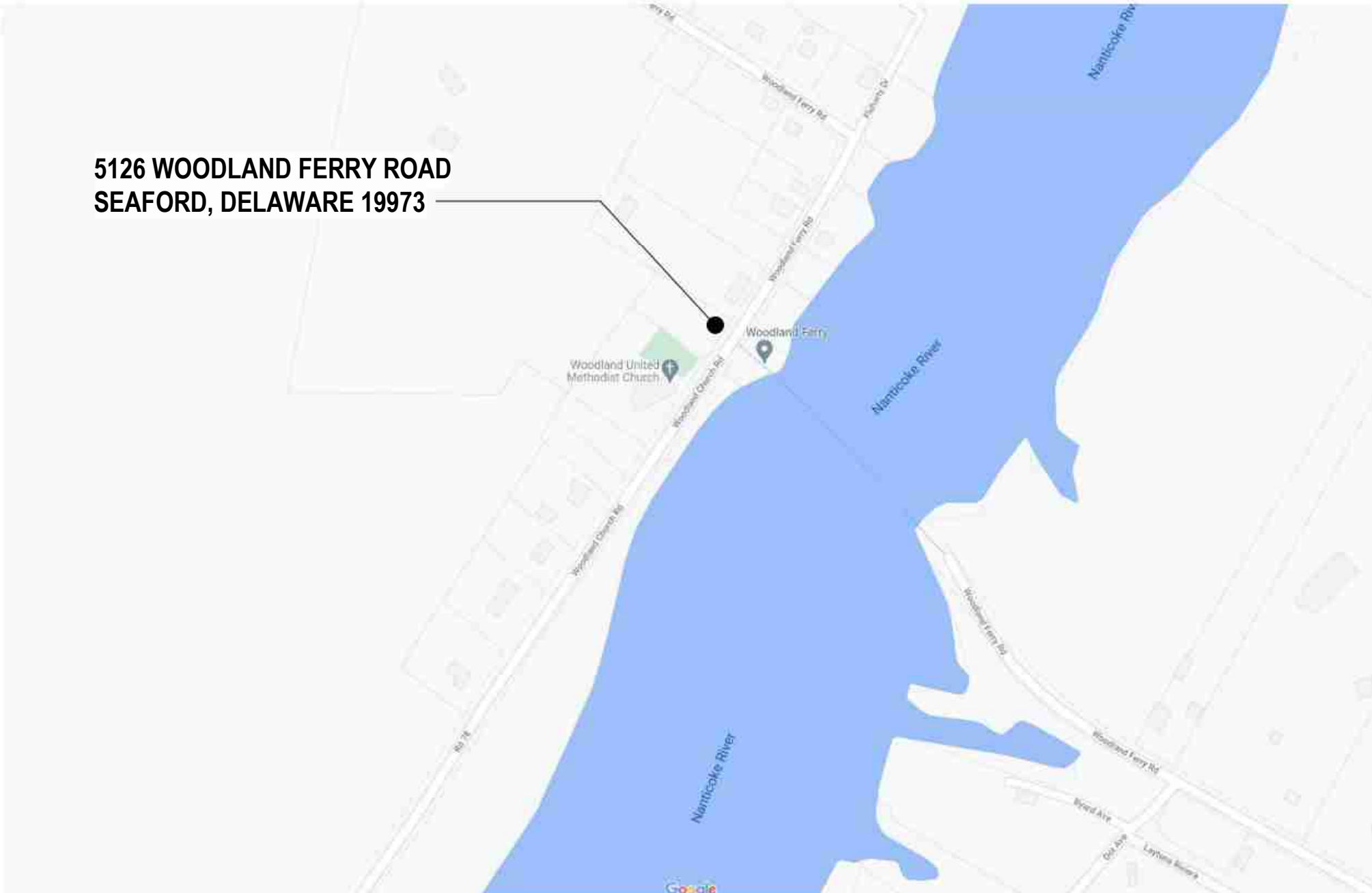
5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973



LOCATION MAP



AREA MAP



SITE MAP

SHEET INDEX	
GENERAL	
G-000	COVER SHEET
G-001	GENERAL NOTES, CODE REVIEW, AND LIFE SAFETY PAN
STRUCTURAL	
S100	STRUCTURAL NOTES
S101	STRUCTURAL PLANS
S201	TYPICAL SECTIONS & DETAILS
ARCHITECTURAL	
A-101	CRAWLSPACE PLAN, FLOOR PLAN, AND REFLECTED CEILING PLAN
A-102	ATTIC PLAN AND ROOF PLAN
A-201	BUILDING ELEVATIONS
A-301	BUILDING SECTIONS
A-302	WALL SECTIONS
A-303	WALL SECTIONS
A-401	ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS
A-402	ENLARGED RAMP PLANS AND SECTIONS
A-403	ENLARGED STAIR SECTIONS AND DETAILS
A-501	TYPICAL DETAILS
A-601	DOOR SCHEDULE AND DETAILS
A-602	WINDOW TYPES AND DETAILS
A-801	INTERIOR FINISHES
MECHANICAL	
M-000	SYMBOLS, NOTES AND SCHEDULES
M-101	HVAC PLANS
ELECTRICAL	
E-000	ELECTRICAL COVER SHEET
E-100	ELECTRICAL SITE & ATTIC PLAN
E-101	ELECTRICAL POWER PLAN
E-500	ELECTRICAL DETAILS
PLUMBING	
P-000	SYMBOLS, NOTES AND SCHEDULES
P-101	PLUMBING PLANS

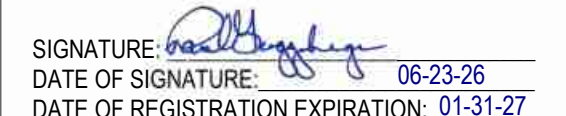


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SIGNATURE: 
DATE OF SIGNATURE: 06-23-26
DATE OF REGISTRATION EXPIRATION: 01-31-27

THE ARCHITECT WHO SEALED, SIGNED, AND DATED THIS DOCUMENT HAS NOT BEEN EMPLOYED TO FURNISH CONSTRUCTION ADMINISTRATION AS DEFINED IN 24 DEL.C. §3303(G).

ARCHITECT / ENGINEER SEAL



CLIENT:
**DELAWARE DEPARTMENT OF
TRANSPORTATION**

PROJECT:
**NEW CONSTRUCTION
WOODLAND FERRY HOUSE
5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973**

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

COVER SHEET

ISSUE

PS&E REVIEW

JUNE 19, 2026		
DRAWN AKS	CHKD PG	PROJECT NO. 21095

SHEET NO.

G-000

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S100

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6/25/2025 1:21:59 PM

1. FIRST FLOOR REFERENCE ELEVATION = 0'-0". (REF. SITE PLAN)
2. ELEVATIONS ARE NOTED FROM REF. EL. 0'-0" AS FOLLOWS:
 (-#'-#") INDICATES TOP OF PIER
 [#'-#"] INDICATES TOP OF FOOTING
3. FOUNDATION MEMBERS SHALL BE AT THE FOLLOWING ELEVATIONS, U.N.O.:
 FTGS 1/FTG [-3'-8"] U.N.O.
 - STEP FTGS AS REQ'D TO PROVIDE MIN. 2'-8" FROM FIN. GRADE TO BOT. OF FTG. COORD. W/ CIVIL.
 - STEP FOOTING @ PIPES CROSSING WALLS, SEE 'STEP FOOTING AT PIPE CROSSINGS' AND 'PIPE CROSSING BELOW WALL FTG' TYP. DETAILS, CONTR. TO COORD. W/ ALL MEP DRAWINGS.
4. FOUNDATION MEMBERS ARE DESIGNATED AS FOLLOWS:
 #F# FOOTING MARK - SEE SCHEDULE
 P#P PIER MARK - SEE FOUNDATION SECTIONS. ALL PIERS ARE P1 U.N.O.
5. PROVIDE THICKENED SLAB UNDER INTERIOR NON-STRUCTURAL CMU WALLS AS REQUIRED, SEE TYPICAL DETAILS AND ARCH DRAWINGS.
6. COORDINATE WITH ARCH., MECH., ELEC. AND PLMB DRAWINGS FOR FLOOR SLOPES, DRAINS, OPENINGS, DEPRESSIONS, ETC.
7. REF. TO ARCH. DRAWINGS FOR DIMENSIONS NOT SHOWN.
8. REF. TO STRUCTURAL NOTES DRAWINGS 5100.
9. REF. TO TYPICAL DETAILS ON DRAWING 5201.
10. TYPICAL SLAB ON GRADE CONST.: 4" SLAB W/ 4" STONE LAYER, REINF. W/ WWF 6x6-W2.1xW2.1 U.N.O. PROVIDE CJ @ COLUMNS & 17'-0" MAX. SPACING. REF. TYPICAL DETAILS. SEE SPECS FOR VAPOR BARRIER.

NOTE:
ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF, TO BE
VERIFIED IN FIELD BY A GEOTECHNICAL ENGINEER PRIOR TO
CASTING FOOTING CONCRETE.



- NOTES:
1. PROVIDE 3/4" T & G STRUCTURAL SHEATHING SUBFLOOR. REF. 8/520 I.
 2. FIRST FLOOR REFERENCE ELEVATION: 0'-0". REF. ARCH DRAWINGS.
 3. TYPICAL EXTERIOR & BEARING WALL CONSTRUCTION: 2X8 STUDS @ 16" o.c.
W/ 1/2" STRUCTURAL SHEATHING. REF. 9/520 I.
 4. TYPICAL HEADER: (4) 2X10 W/ 1/2" PLYWOOD SHIMS.
(2) JACK & (2) KING STUDS EACH END EACH HEADER U.N.O. ON PLAN.
 4. REF. ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
 5. REF. 520 I FOR TYPICAL FRAMING DETAILS.



- NOTES:
1. PROVIDE 5/8" STRUCTURAL ROOF SHEATHING - REF. 1/6/201.
 2. TYPICAL EXTERIOR & BEARING WALL CONSTRUCTION: 2X8 STUDS @ 16" o.c. w/ 1/2" STRUCTURAL SHEATHING. REF. 9/5/201.
 3. TYPICAL HEADER: (4) 2X10 W/ 1/2" PLYWOOD SHIMS. PROVIDE (2) JACK + (2) KING STUDS EACH END EACH HEADER U.N.O. ON PLAN.
 4. REF. ARCH DRAWINGS FOR DIMENSIONS NOT SHOWN.
 5. REF. S201 FOR TYPICAL FRAMING DETAILS.
 6. TRUSS BEARING ELEVATION: 15'-6"
 7. PROVIDE PERMANENT TRUSS BRACING PER DETAILS 17, 18 & 19/201.
 8. ALL TRUSS TO TRUSS CONNECTIONS TO BE DESIGNED & PROVIDED BY TRUSS MANUFACTURER.
 9. TRUSS LAYOUT IS SCHEMATIC. FINAL LAYOUT BY MANUFACTURER. SUBMIT TRUSS SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.

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ARCHITECT / ENGINEER SEAL



CLIENT:
DELAWARE DEPARTMENT OF
TRANSPORTATION

PROJECT:
NEW CONSTRUCTION

WOODLAND FERRY HOUSE

5126 WOODLAND FERRY ROAD, SEAFORD, DE 19957

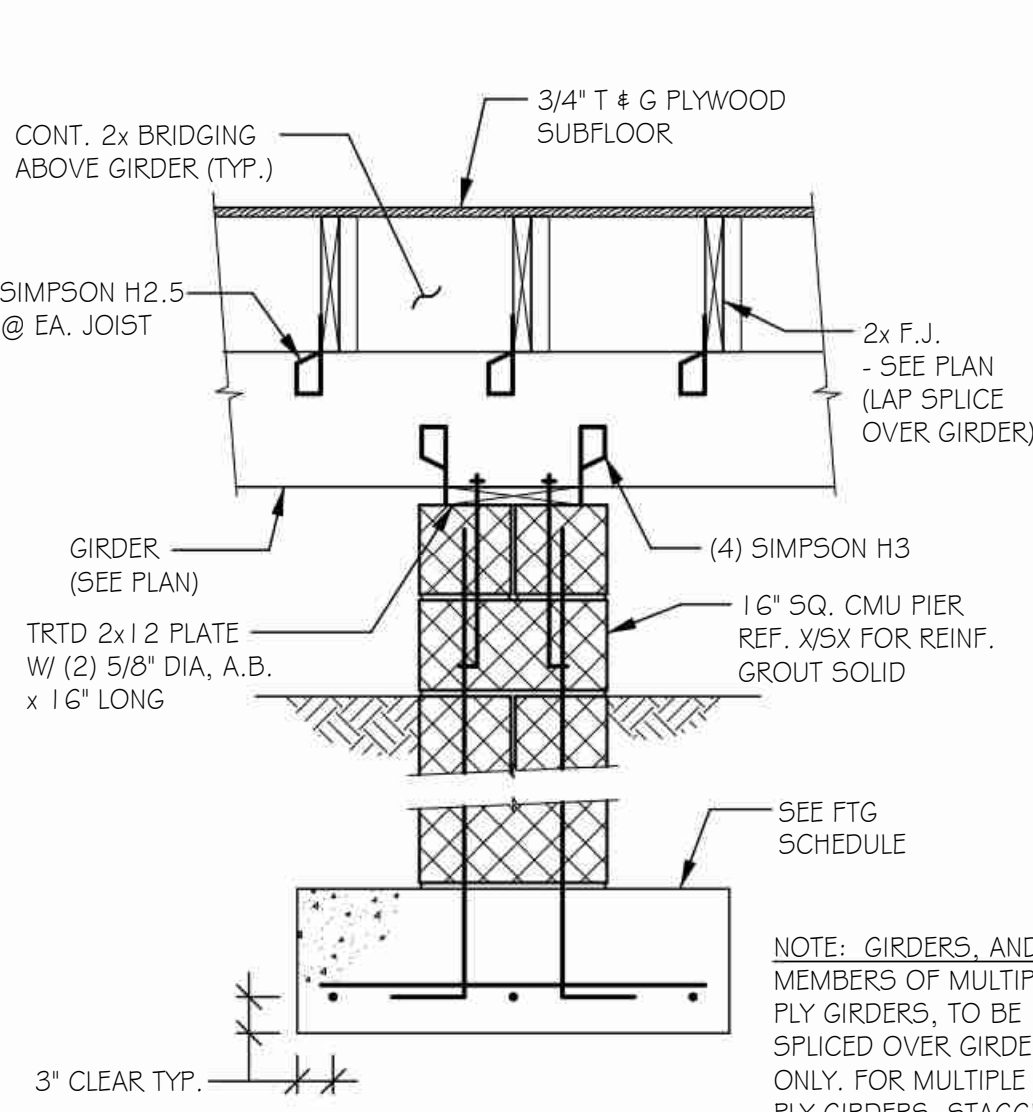
SHEET TITLE

STRUCTURAL PLANS

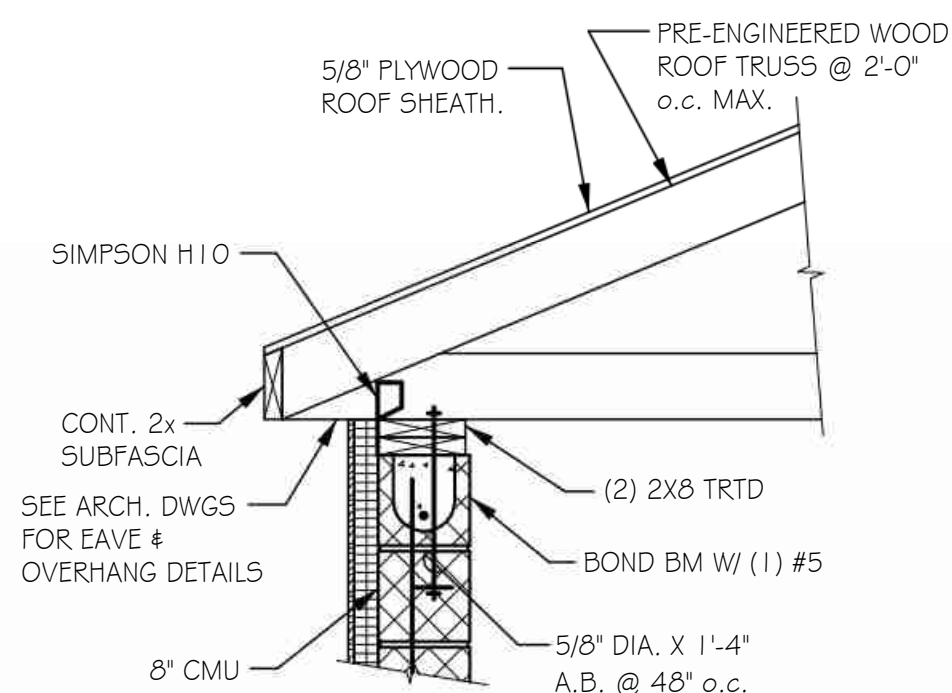
ISSUE PS&E REVIEW

SHEET NO. _____

S101



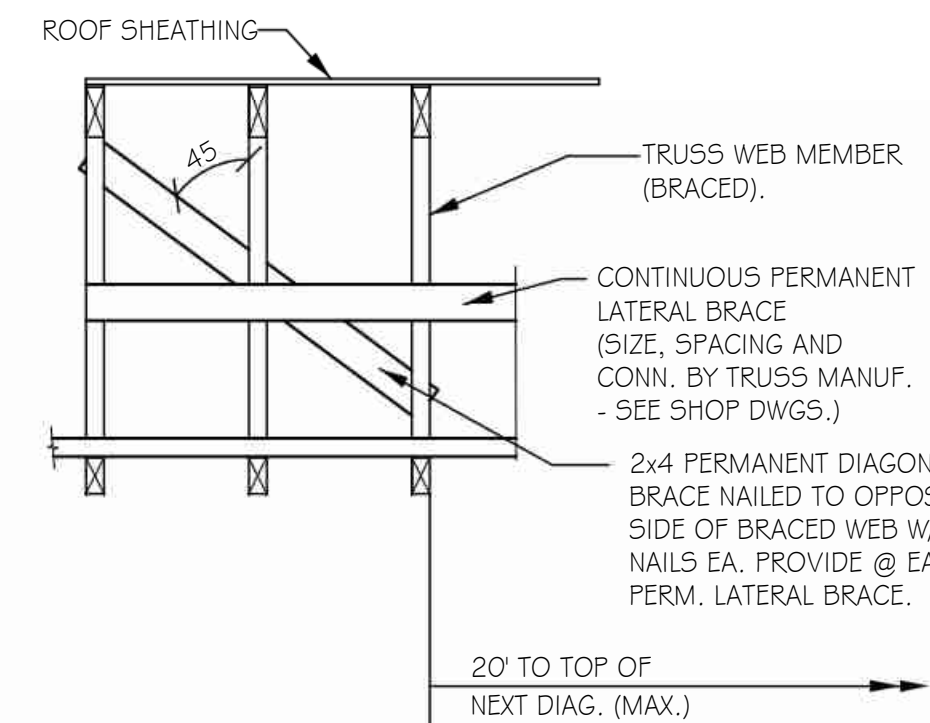
6 SECTION SPRUCE
5201 $3/4" = 1'-0"$



12
5201

TYPICAL TRUSS CMU WALL BEARING

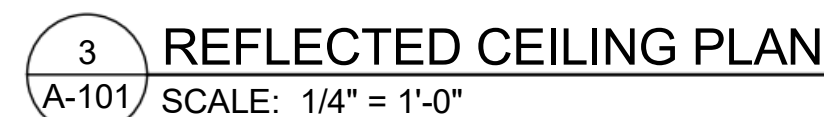
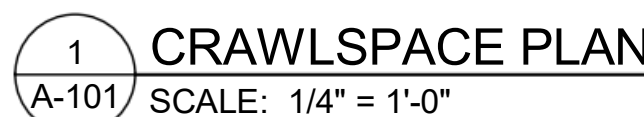
3/4" = 1'-0"



17 PERM. DIAG. BRACE @ CONT.
5201 PERM. LAT. BRACE

19 PERM. SWAY BRACING
5201 NT5

NOT USED



KEY	NOTE
C1	3" 30° BY 30° FLOOR ACCESS PANEL TO CRAWL SPACE BELOW. BASIS OF DESIGN. BILCO TYPE TER SINGLE LEAF. PROVIDE 300LBS. MIN. RATED ACCESS LADDER.
C2	NOT USED
C3	CASEWORK SEE A-401 FOR ADDITIONAL INFORMATION
C4	18" DEEP BY 15" WIDE BY 72" HIGH METAL LOCKER WITH METAL BASE (6 QUANTITY)
C5	12" GYPSUM BOARD CEILING ON WOOD TRUSSES ABOVE
C6	12" GYPSUM BOARD CEILING OVER 2x6 STUDS AT 16" O.C.
C7	RIDGE VENT
C10	5" PRE-FINISHED ALUMINUM "C" GUTTER WITH PREFINISHED ALUMINUM DRIP EDGE
C11	3" x 4" PRE-FINISHED ALUMINUM DOWNSPUT WITH CONCRETE SPLASH BLOCK
C12	FIBER CEMENT SOFFIT BOARD
C13	3/4" TONGUE AND GROOVE 1/2" WOOD GLUED AND MECHANICALLY FASTENED TO BOTTOM CHORD OF ROOF TRUSSES IN ATTIC SPACE.
C14	CMU FOUNDATION WALL AND FOOTING. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C15	Poured CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C16	WOOD FLOOR JOISTS. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C17	ICC-ED CERTIFIED ENGINEER PN COMPLIANT FLOOD VENT 16" WIDE x 8" HEIGHT (220 SF COVERAGE PER VENT)
C18	PROJECTION AREA WALL WITH STONE FILL AND EDGE-FRANGED, POWDER-COATED ALUMINUM WALL. GRATE COVER W/ 400LBS. STATIC WEIGHT CAPACITY. 3/4" MAX. GRATE HOLE DIAMETER.
C19	PROVIDE AND INSTALL MANUAL ROOF SHADES.
C20	VALLEY FLASHING
C21	(3) 2" BY 4" RAILS SPACED 16" O.C. VERTICALLY AND SCREWED INTO VERTICAL TRUSS MEMBERS
C22	1" FRENCH DRAIN AT PERIMETER OF BASEMENT SLAB WITH 4" PERFORATED PVC PIPING TIED TO SUM-PIT
C23	PROVIDE NEW ACCESS LADDER. ROYALTY LITE EXTENDED ALUMINUM ACCESS LADDER WITH LIFT-UP RAIL EXTENSION AT BOTH TALLS, OR AN APPROVED EQUL.
C24	PROVIDE NEW WINDOW WITH PRIVACY FILM. SEE WINDOW TYPES FOR MORE INFORMATION.

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S CLIENTS AT THE LOCATION INDICATED. NO
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SIGNATURE: [Signature]
DATE OF SIGNATURE: 06-23-26
DATE OF REGISTRATION EXPIRATION: 01-31-27

ARCHITECT / ENGINEER SEAL

DELAWARE DEPARTMENT OF
TRANSPORTATION

REVISIONS

[illegible]

MEET TITLE

CRAWLSPACE PLAN,
FLOOR PLAN, AND
REFLECTED CEILING
PLAN

PS&E REVIEW

JUNE 19, 2026

DRAWN	CHK'D	PROJECT NO.
AKS	PG	21095

SHEET NO.

A-101

GENERAL ROOF CONSTRUCTION NOTES

- **TYPICAL ROOF SYSTEM CONSTRUCTION (R-1):**
- ARCHITECTURAL ASPHALT SHINGLE
- UNDERLAYMENT
- 1/2" PLYWOOD SHEATHING
- JOI SLEEPERS @ 24" O.C. ALIGNED WITH TRUSS CHORDS
- R-30 POLYISOCYANURATE INSULATION
- SELF-ADHERED VAPOR BARRIER
- 5/8" STRUCTURAL ROOF SHEATHING
- STRUCTURAL TRUSS (DELEGATED DESIGN)

PORCH ROOF SYSTEM CONSTRUCTION (R-2):

- ARCHITECTURAL ASPHALT SHINGLE
- SELF-ADHERED VAPOR BARRIER
- 3/4" STRUCTURAL ROOF SHEATHING
- STRUCTURAL BEAM

CONSTRUCTION KEY NOTES

KEY	NOTE
C1	30" BY 30" FLOOR ACCESS PANEL TO CRAWL SPACE BELOW, BASIS OF DESIGN: BILOCTYPE TER SINGLE LEAF, PROVIDE 300LBS. MIN RATED ACCESS LADDER.
C2	NOT USED
C3	CASEWORK SEE A-401 FOR ADDITIONAL INFORMATION
C8	18" DEEP BY 15" WIDE BY 72" HIGH METAL LOCKER WITH METAL BARE (6 QUANTITY)
C9	12" GYPSUM BOARD CEILING ON WOOD TRUSS ABOVE
C10	12" GYPSUM BOARD CEILING OVER 2x6 STUDS AT 16" O.C.
C12	RIDGE VENT
C13	5" PRE-FINISHED ALUMINUM X" GUTTER WITH PREFINISHED ALUMINUM DRAIN EDGE
C14	5' X 4' PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH BLOCK
C15	FIBER CEMENT SOFFIT BOARD
C17	3/4" TONGUE AND GROOVE PLYWOOD GLED AND MECHANICALLY FASTENED TO BOTTOM CHORD OF ROOF TRUSSES IN ATTIC SPACE
C18	CML FOOTING WALL AND FOOTING. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C19	POURED CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C20	WOOD FLOOR JOISTS. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C21	ICC-ED CERTIFIED ENGINEER MPF COMPLIANT FLOOD VENT 18" WIDE X 8" HEIGHT (220 SF COVERAGE PER VENT)
C22	POURED CONCRETE W/ALUMINUM FLOOR FILL AND EDGE FINISH. POWERCOATED ALUMINUM WINDOW WELL GRATE COVER W/ 400LBS. STATIC WEIGHT CAPACITY, 3/4" MAX. GRATE HOLE DIAMETER
C19	PROVIDE AND INSTALL MANUAL ROOF LADDER SHOES
C20	VALLEY FLASHING
C21	3" 2X4 RAILS SPACING 6" O.C. VERTICALLY AND SCREWED INTO VERTICAL TRUSS MEMBERS
C22	1" FRENCH DRAIN AT PERIMETER OF BASEMENT SLAB WITH 4" PERFORATED PVC PIPING TIE TO SUMP PIT.
C23	PROVIDE NEW ACCESS LADDER. ROYALTY LITE, EXTENDED ALUMINUM ACCESS LADDER WITH LIFT-UP RAIL EXTENSION AT BOTH RAILS, OR AS APPROVED AGENCY
C24	PROVIDE NEW WINDOW WITH PRIVACY FILM. SEE WINDOW TYPES FOR MORE INFORMATION.



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SIGNATURE: [Signature]
DATE OF SIGNATURE: 06-23-26
DATE OF REGISTRATION EXPIRATION: 01-31-27

ARCHITECT / ENGINEER SEAL

DELAWARE DEPARTMENT OF
TRANSPORTATION

NEW CONSTRUCTION PROJECT.

WOODLAND FERRY HOUSE

5126 WOODLAND FERRY ROAD SEAFORD, DELAWARE 19973

REVISIONS

[illegible]

MEET TITLE

ATTIC PLAN AND ROOF PLAN

SUE

PS&E REVIEW

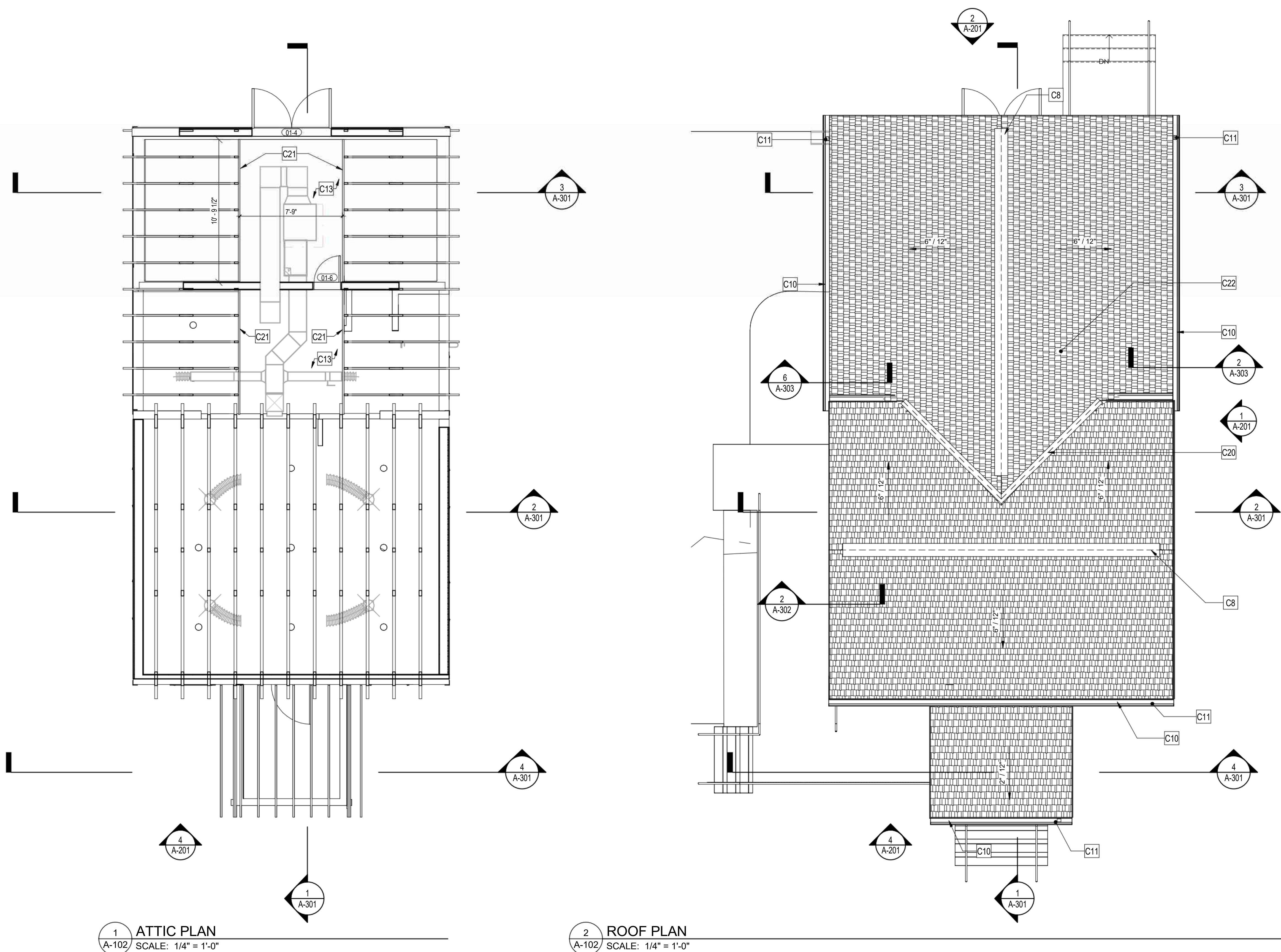
JUNE 19, 2026

DRAWN	CHK'D	PROJECT NO.
AB	PG	21095

MEET NO.

A-102

0025 JAED CORPORATION



1 ATTIC PLAN
A-102 SCALE: 1/4" = 1'-0"

2 ROOF PLAN
A-102 SCALE: 1/4" = 1'-0"

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GENERAL ROOF CONSTRUCTION NOTES

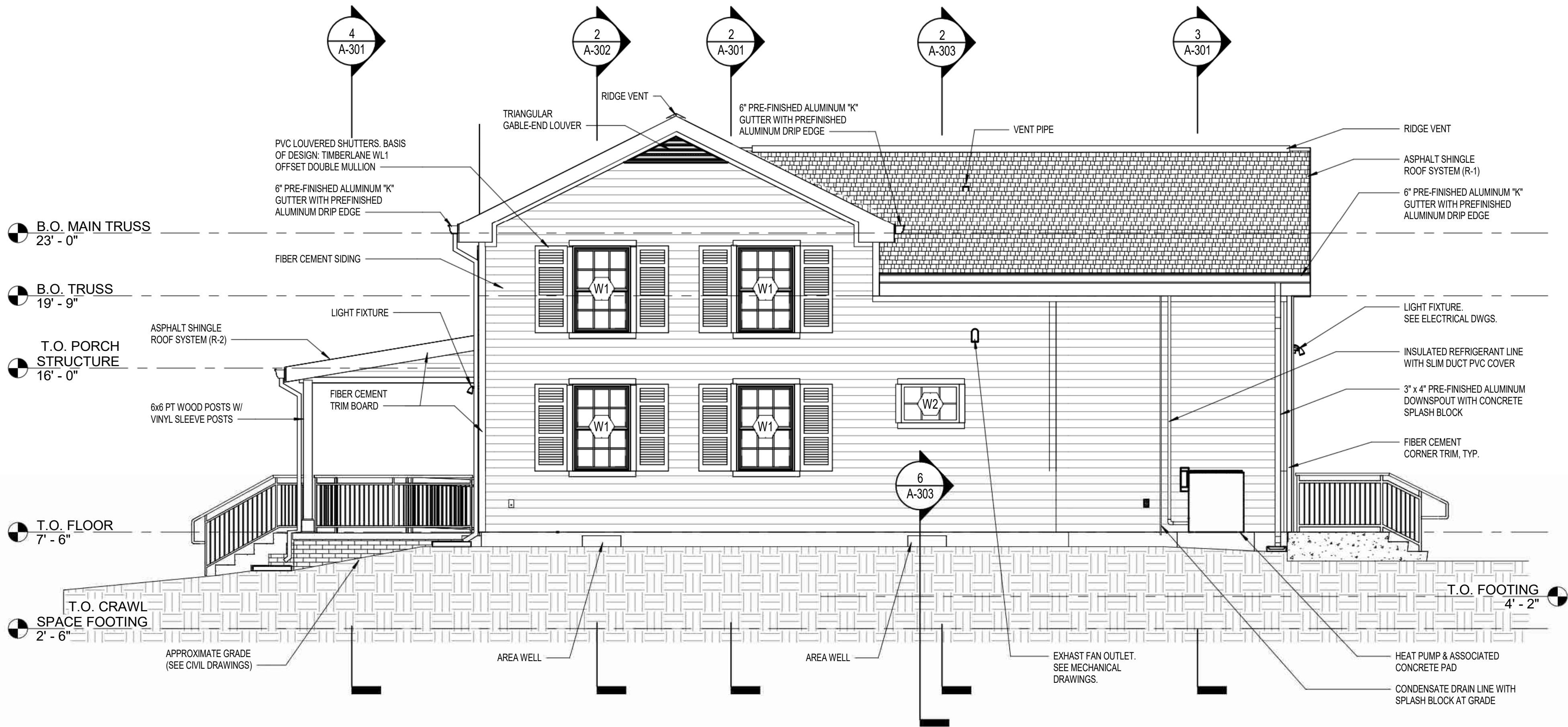
- TYPICAL ROOF SYSTEM CONSTRUCTION (R-1):**
- ARCHITECTURAL ASPHALT SHINGLE
 - UNDERLAYMENT
 - 1/2" PLYWOOD SHEATHING
 - 1x SLEEPERS @ 24" O.C. ALIGNED WITH TRUSS CHORDS
 - R-30 POLYISOCYANURATE INSULATION
 - SELF-ADHERED VAPOR BARRIER
 - 5/8" STRUCTURAL ROOF SHEATHING
 - STRUCTURAL TRUSS (DELEGATED DESIGN)

- PORCH ROOF SYSTEM CONSTRUCTION (R-2):**
- ARCHITECTURAL ASPHALT SHINGLE
 - SELF-ADHERED VAPOR BARRIER
 - 3/4" STRUCTURAL ROOF SHEATHING
 - STRUCTURAL BEAM

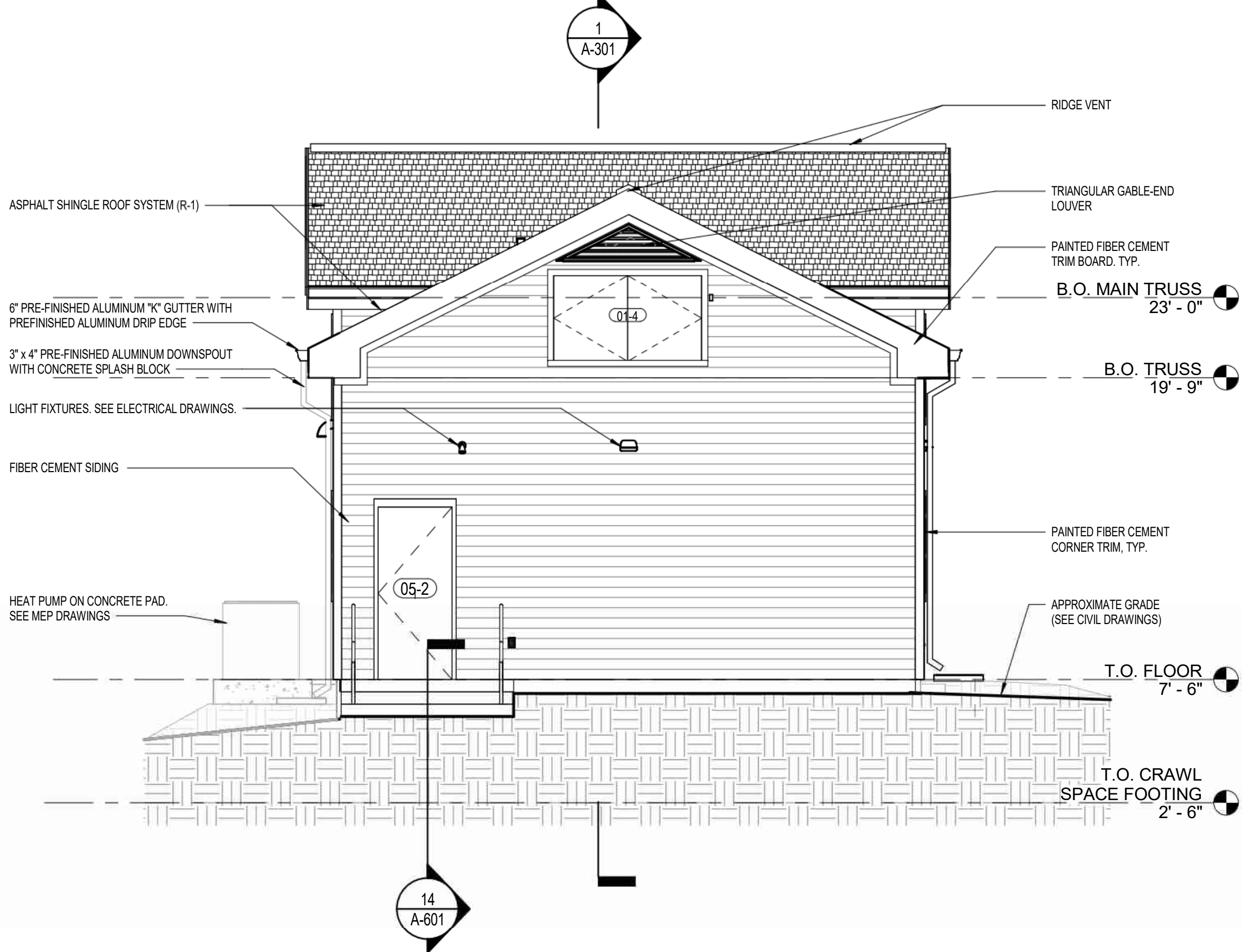
NOTE:
SEE ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL WALL MOUNTED EQUIPMENT.

CONSTRUCTION KEY NOTES

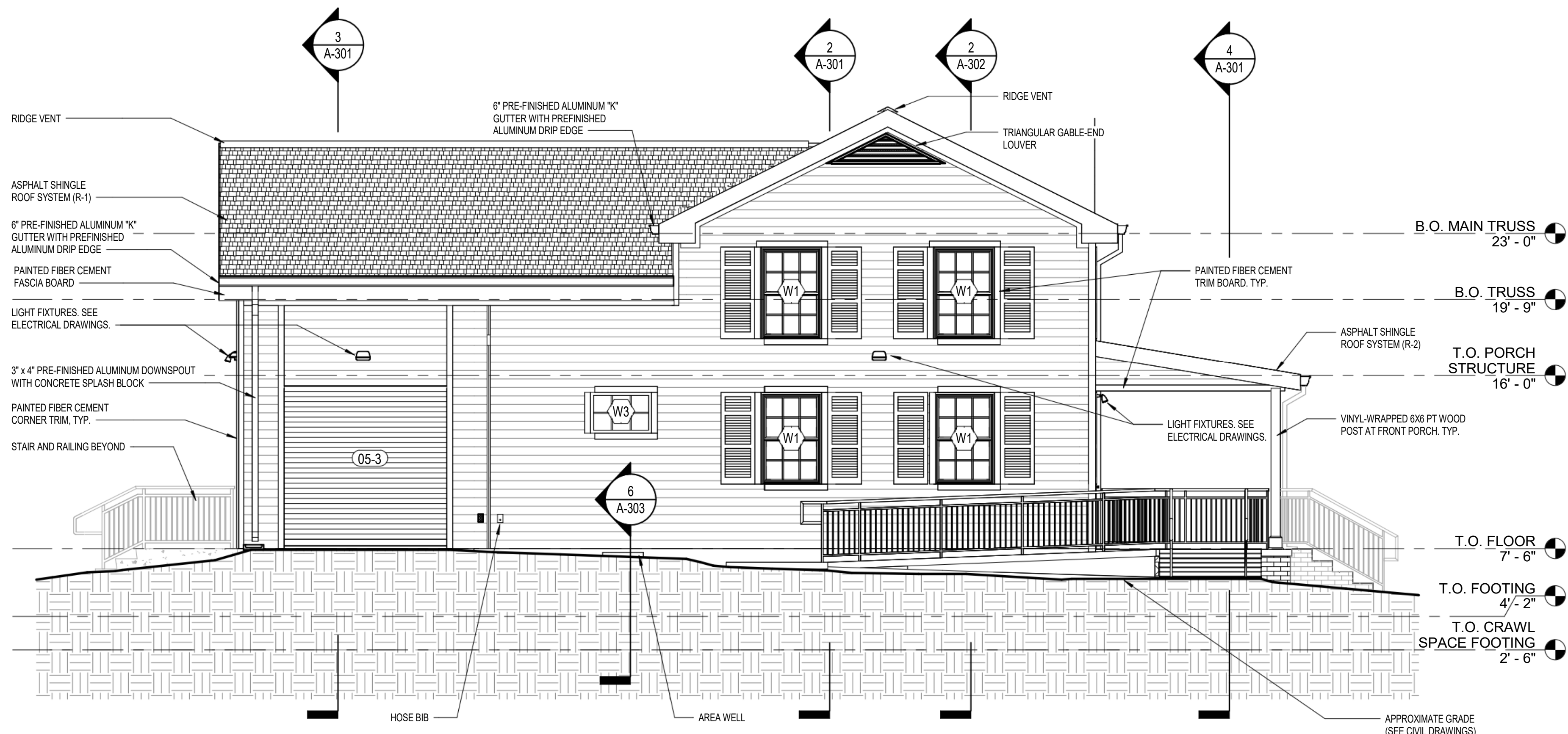
KEY	NOTE
C1	30" BY 30" FLOOR ACCESS PANEL TO CRAWL SPACE BELOW. BASIS OF DESIGN: BILCO TYPE TER SINGLE LEAF. PROVIDE 300LBS. MIN. RATED ACCESS LADDER.
C2	NOT USED
C3	CASEWORK SEE A-401 FOR ADDITIONAL INFORMATION
C5	18" DEEP BY 15" WIDE BY 72" HIGH METAL LOCKER WITH METAL BASE (6 QUANTITY)
C6	1/2" GYPSUM BOARD CEILING ON WOOD TRUSS ABOVE
C7	1/2" GYPSUM BOARD CEILING OVER 2x6 STUDS AT 16" O.C.
C8	RIDGE VENT
C10	5" PRE-FINISHED ALUMINUM "K" GUTTER WITH PREFINISHED ALUMINUM DRIP EDGE
C11	3" x 4" PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH BLOCK
C12	FIBER CEMENT SOFFIT BOARD
C13	3/4" TONGUE AND GROOVE PLYWOOD GLUED AND MECHANICALLY FASTENED TO BOTTOM CHORD OF ROOF TRUSSES IN ATTIC SPACE
C14	CMU FOUNDATION WALL AND FOOTING. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C15	POURED CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C16	WOOD FLOOR JOISTS. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C17	ICC-ED CERTIFIED ENGINEERED NFIP COMPLIANT FLOOD VENT. 16" WIDE x 8" HEIGHT (220 SF COVERAGE PER VENT)
C18	PROJECTION AREA WELL WITH STONE FILL AND EDGE FLANGED. POWDER-COATED ALUMINUM WINDOW WELL GRATE COVER W/ 400LBS. STATIC WEIGHT CAPACITY. 3/4" MAX. GRATE HOLE DIAMETER
C19	PROVIDE AND INSTALL MANUAL ROLLER SHADES.
C20	VALLEY FLASHING
C21	(3) 2 BY 4 RAILS SPACED 16" O.C. VERTICALLY AND SCREWED INTO VERTICAL TRUSS MEMBERS
C22	1" FRENCH DRAIN AT PERIMETER OF BASEMENT SLAB WITH 4" PERFORATED PVC PIPING TIED TO SUMP PIT.
C23	PROVIDE NEW ACCESS LADDER. ROYALTY HL EXTENDED ALUMINUM ACCESS LADDER WITH LIFT-UP RAIL EXTENSION AT BOTH RAILS. OR ARE APPROVED EQUAL.
C24	PROVIDE NEW WINDOW WITH PRIVACY FILM. SEE WINDOW TYPES FOR MORE INFORMATION.



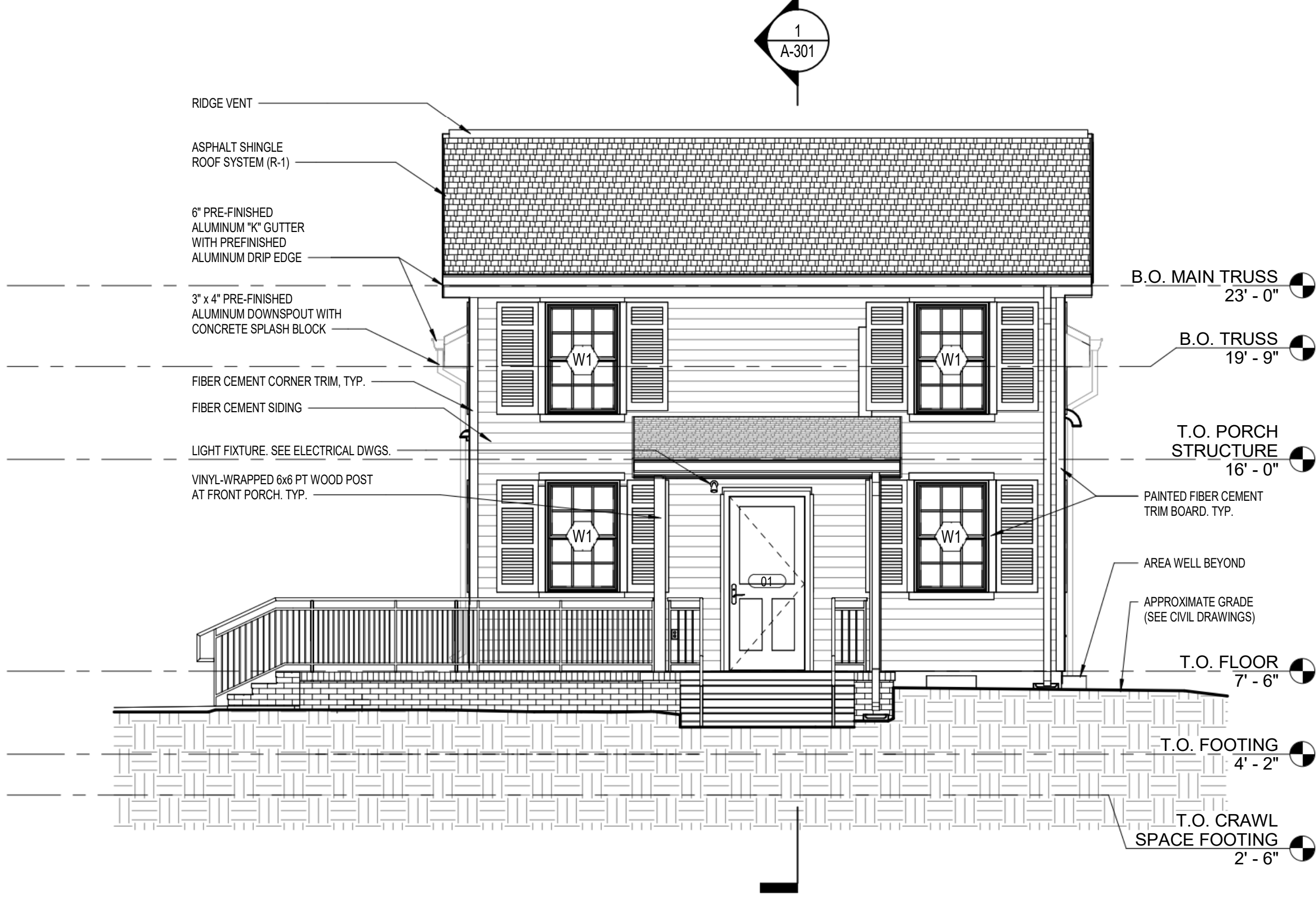
1 EAST BUILDING ELEVATION
A-201 SCALE: 1/4" = 1'-0"



2 NORTH BUILDING ELEVATION
A-201 SCALE: 1/4" = 1'-0"



3 WEST BUILDING ELEVATION
A-201 SCALE: 1/4" = 1'-0"



4 SOUTH BUILDING ELEVATION
A-201 SCALE: 1/4" = 1'-0"



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SIGNATURE: [Signature] 06-23-26
DATE OF SIGNATURE: 06-23-26
DATE OF REGISTRATION EXPIRATION: 01-31-27

ARCHITECT / ENGINEER SEAL



CLIENT: DELAWARE DEPARTMENT OF TRANSPORTATION
PROJECT: NEW CONSTRUCTION
WOODLAND FERRY HOUSE
5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19873

REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE

BUILDING ELEVATIONS

ISSUE: PS&E REVIEW

JUNE 19, 2026

DRAWN	CHKD	PROJECT NO.
AB	PG	21095

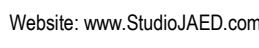
SHEET NO.

A-201

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- **TYPICAL ROOF SYSTEM CONSTRUCTION (R-1):**
- ARCHITECTURAL ASPHALT SHINGLE
- UNDERLAYMENT
- 1/2" PLYWOOD SHEATHING
- JOI SLEEPERS @ 24" O.C. ALIGNED WITH TRUSS CHORDS
- R-30 POLYISOCYANURATE INSULATION
- SELF-ADHERED VAPOR BARRIER
- 5/8" STRUCTURAL ROOF SHEATHING
- STRUCTURAL TRUSS (DELEGATED DESIGN)

KEY	NOTE
C1	30" BY 30" FLOOR ACCESS PANEL TO CRAWL SPACE BELOW, BASIS OF DESIGN: BLOOT TYPE TER SINGLE LEAF, PROVIDE 400LBS. MIN RATED ACCESS LADDER.
C2	NOT USED
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C8	12" GYPSUM BOARD CEILING OVER 2x6 STUDS AT 16" O.C.
C9	RIDGE VENT
C10	PRE-FINISHED ALUMINUM 7x6 GUTTER WITH PRE-FINISHED ALUMINUM DRAIN EDGE
C11	3" x 4" PRE-FINISHED ALUMINUM DOWNSPOUT WITH CONCRETE SPLASH BLOCK
C12	FIBER CEMENT SOFFIT BOARD
C13	4"x4" TONGUE AND GROOVE PLYWOOD GLUED AND MECHANICALLY FASTENED TO BOTTOM CHORD OF ROOF TRUSSES IN ATTIC SPACE
C14	C&I FOUNDATION WALL AND FOOTING. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C15	POURED CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C16	WOOD FLOOR JOISTS. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C17	ICC-ED CERTIFIED ENGINEERED WIP COMPLIANT FLOOD VENT 16" WIDE x 8" HEIGHT (220 SF COVERAGE PER VENT)
C18	3/4" CORRUGATED ALUMINUM WITH STONE FILL AND EDGE FLANGED. POWDER-COATED ALUMINUM WINDOW W/AL GRATE COVER W/ 400LBS. STATIC WEIGHT CAPACITY, 3/4" MAX. GRATE HOLE DIAMETER
C19	PROVIDE AND INSTALL MANUAL ROLLER SHADES.
C20	VALLEY FLASHING
C21	2" x 4" BY 8" SPLS SPACED 16" O.C. VERTICALLY AND SCREWED INTO VERTICAL TRUSS MEMBERS
C22	1" FRENCH DRAIN AT PERIMETER OF BASEMENT SLAB WITH 4" PERFORATED PVC PIPING TIE TO SUMP PIT.
C23	PROVIDE NEW ACCESS LADDER, ROYALTY LITE, EXTENDED ALUMINUM ACCESS LADDER WITH LIFT-UP RAIL, EXTENSION AT BOTH RAILS, OR AS APPROVED VENDOR.
C24	PROVIDE NEW WINDOW WITH PRIVACY FILM. SEE WINDOW TYPES FOR MORE INFORMATION.



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DATE OF REGISTRATION EXPIRATION: 01-31-27

WOODLAND FERRY HOUSE

5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973

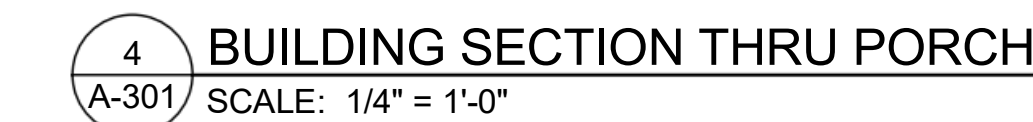
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BUILDING SECTIONS

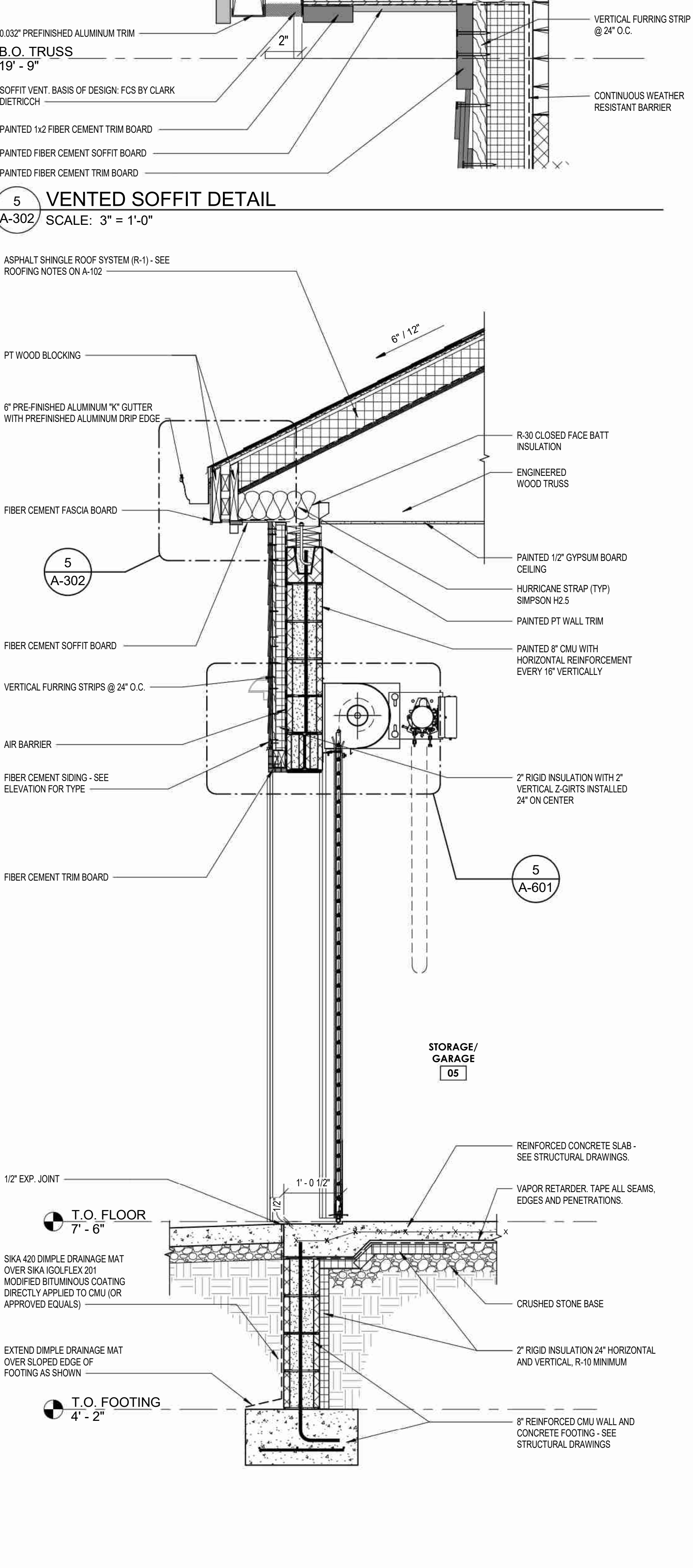
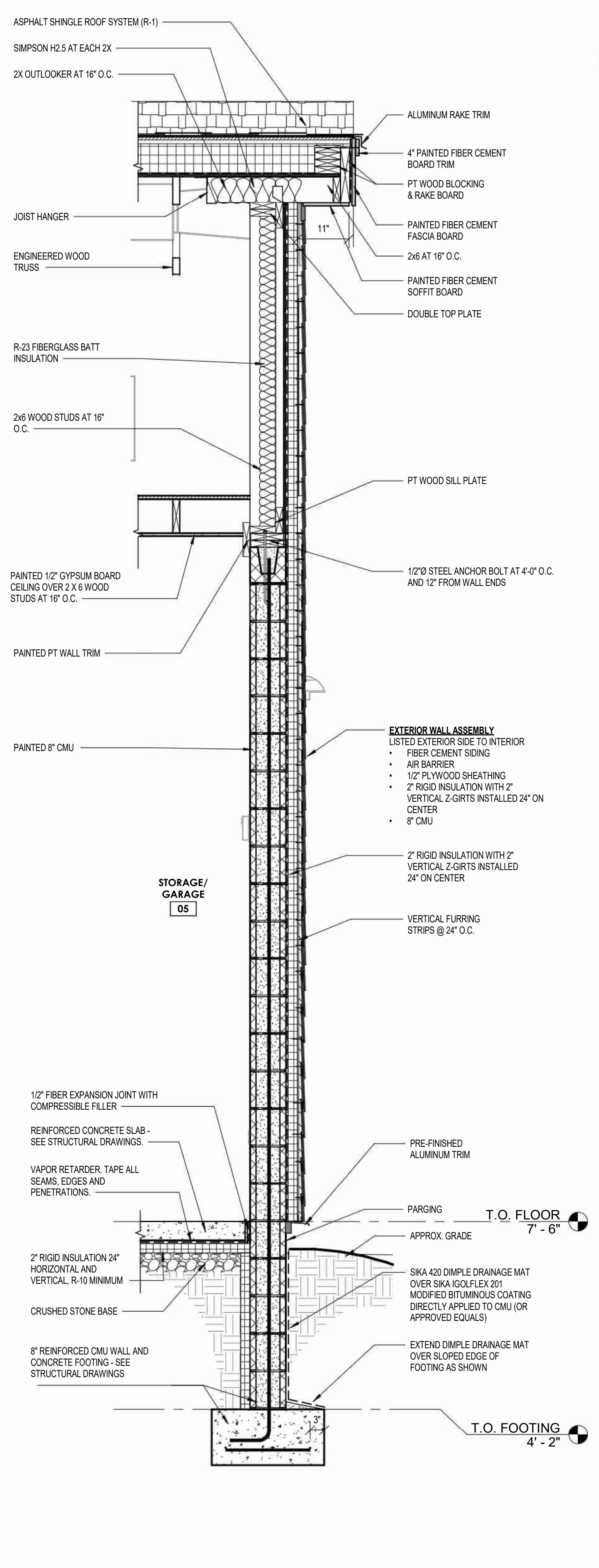
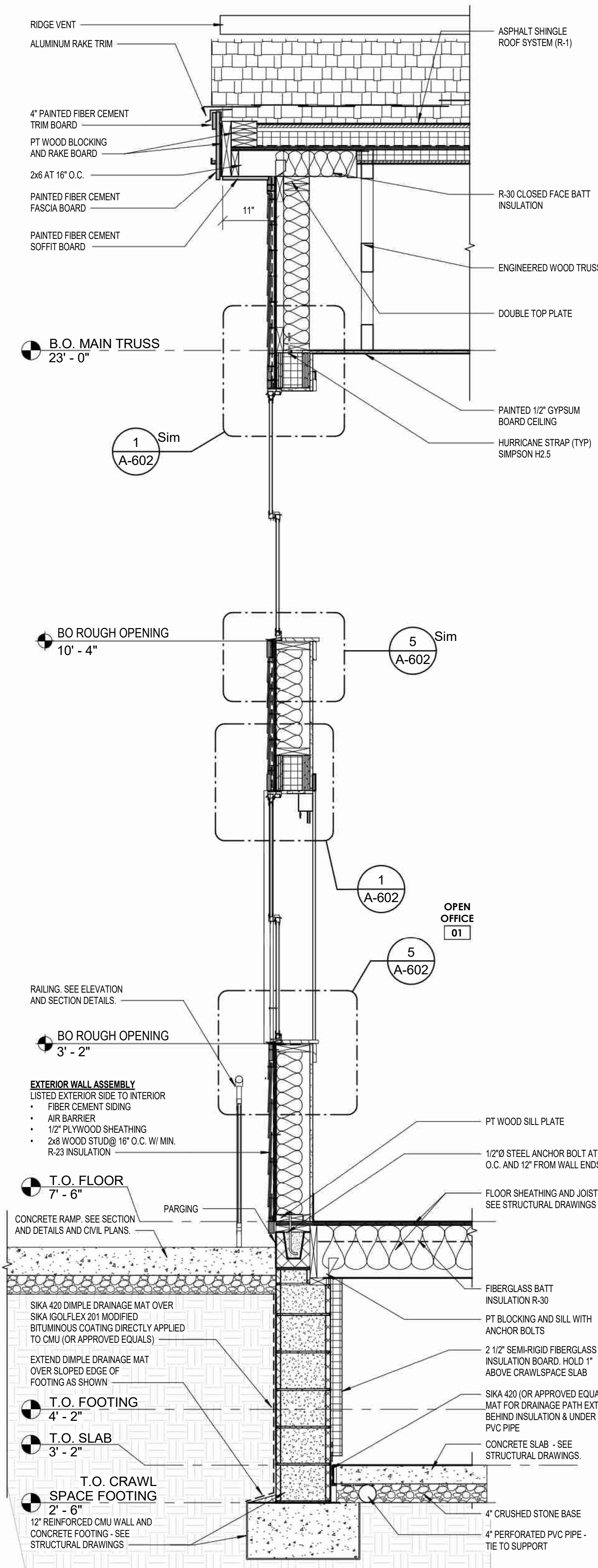
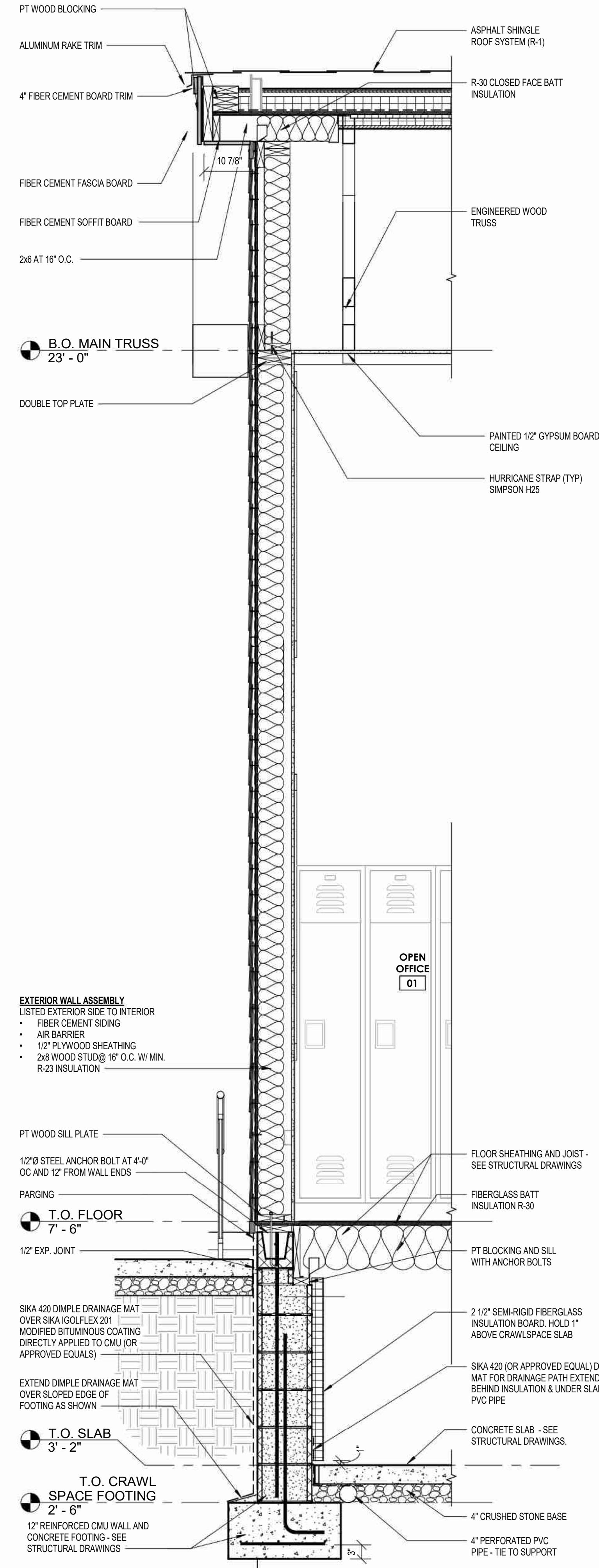
JUNE 19, 2026

DRAWN AB	CHK'D PG	PROJECT NO. 21095
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A-301



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GENERAL ROOF CONSTRUCTION NOTES

TYPICAL ROOF SYSTEM CONSTRUCTION (R-1):

- ARCHITECTURAL ASPHALT SHINGLE
- UNDERLAYMENT
- 1/2" PLYWOOD SHEATHING
- 1x SLEEPERS @ 24" O.C. ALIGNED WITH TRUSS CHORDS
- R-30 POLYISOCYANURATE INSULATION
- SELF-ADHERED VAPOR BARRIER
- STRUCTURAL TRUSS (DELEGATED DESIGN)

PORCH ROOF SYSTEM CONSTRUCTION (R-2):

- ARCHITECTURAL ASPHALT SHINGLE
- SELF-ADHERED VAPOR BARRIER
- 3/4" STRUCTURAL ROOF SHEATHING
- STRUCTURAL BEAM

GENERAL NOTE:
ALL PT WOOD AGAINST CONCRETE AND METAL, SHALL BE WRAPPED WITH SELF-ADHERED WATER RESISTIVE AIR BARRIER MEMBRANE

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ARCHITECT / ENGINEER SEAL

CLIENT: DELAWARE DEPARTMENT OF TRANSPORTATION

PROJECT: NEW CONSTRUCTION

WOODLAND FERRY HOUSE

5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

ISSUE: PS&E REVIEW

JUNE 19, 2026

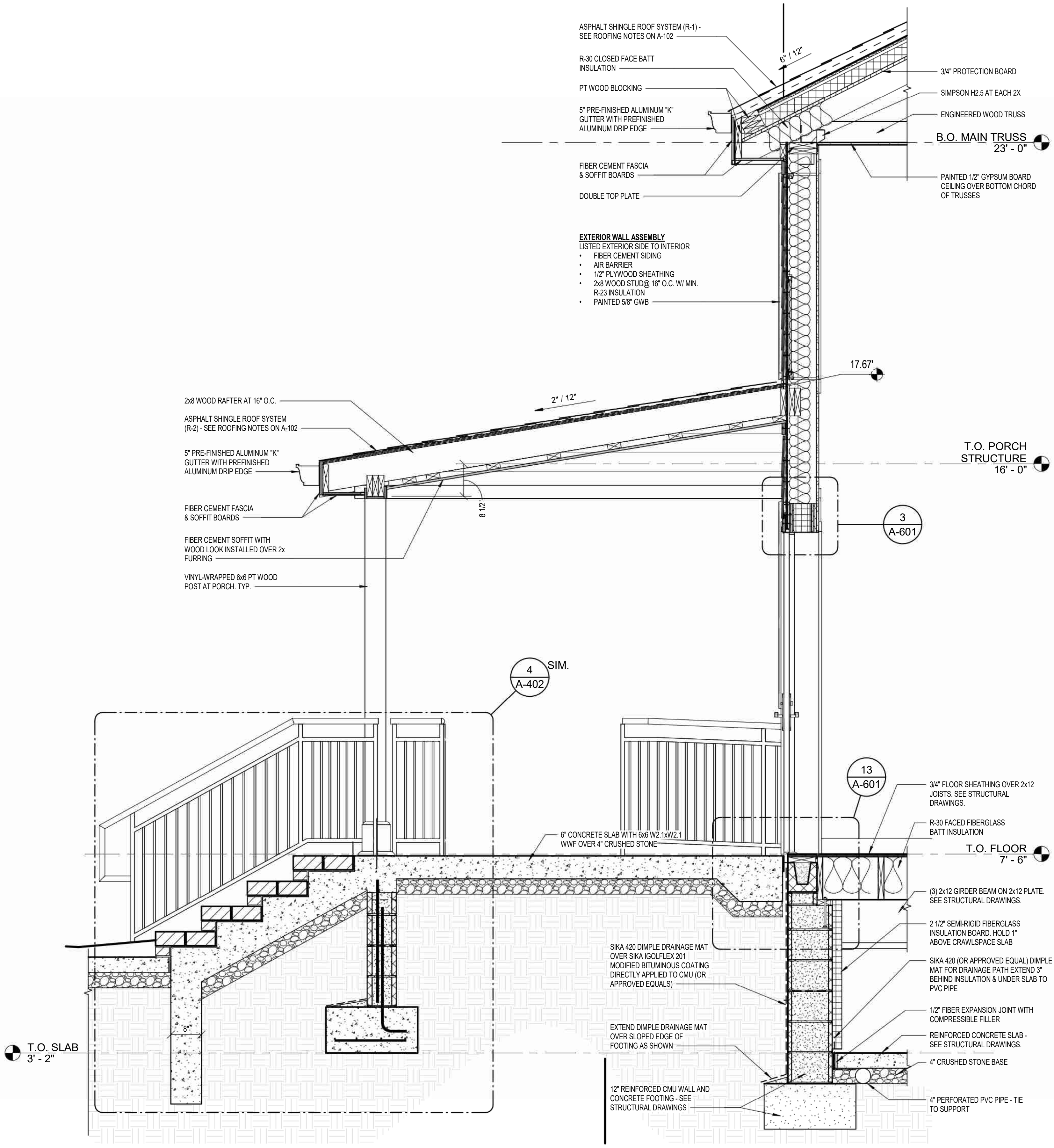
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SHEET NO.

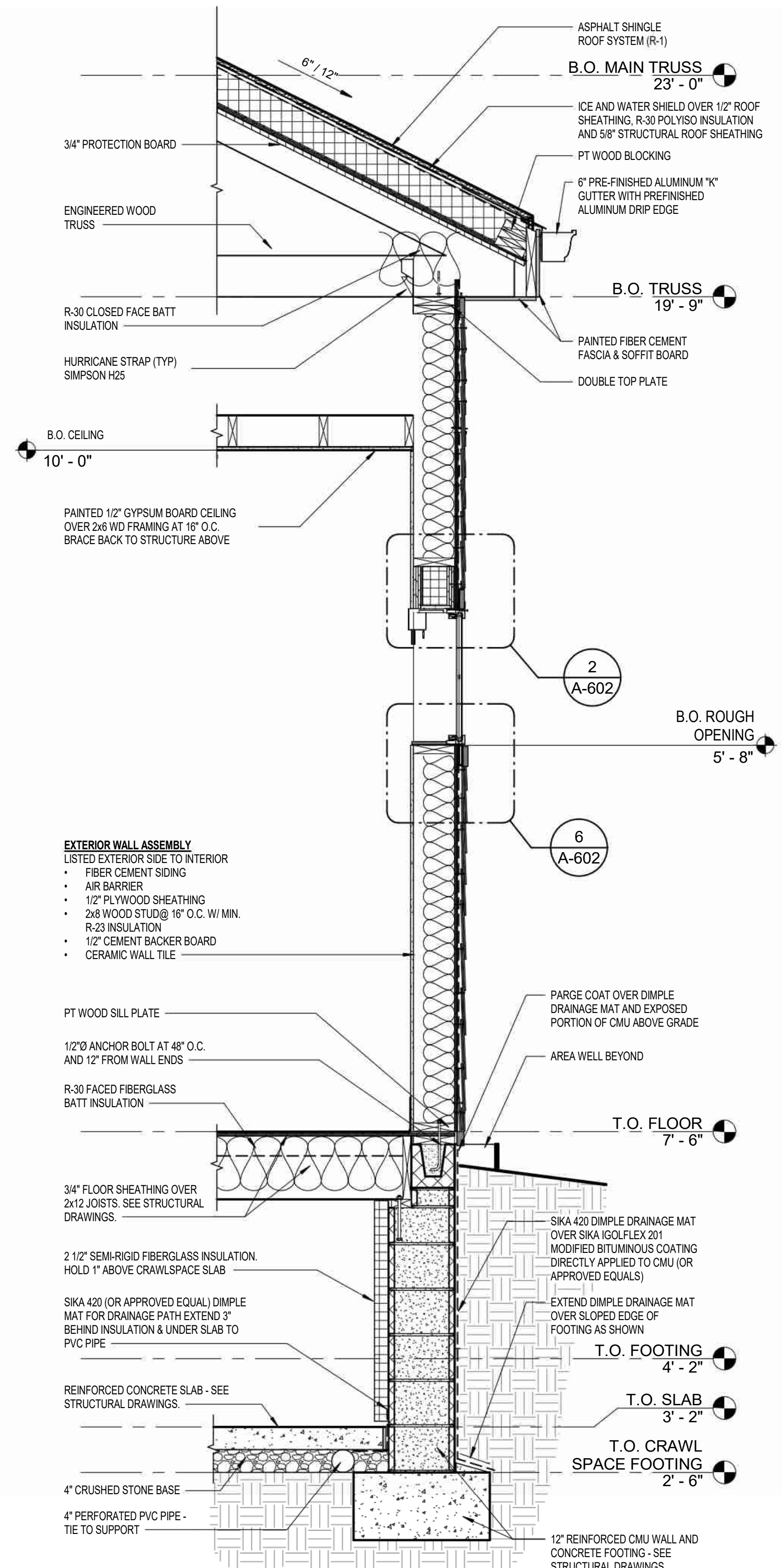
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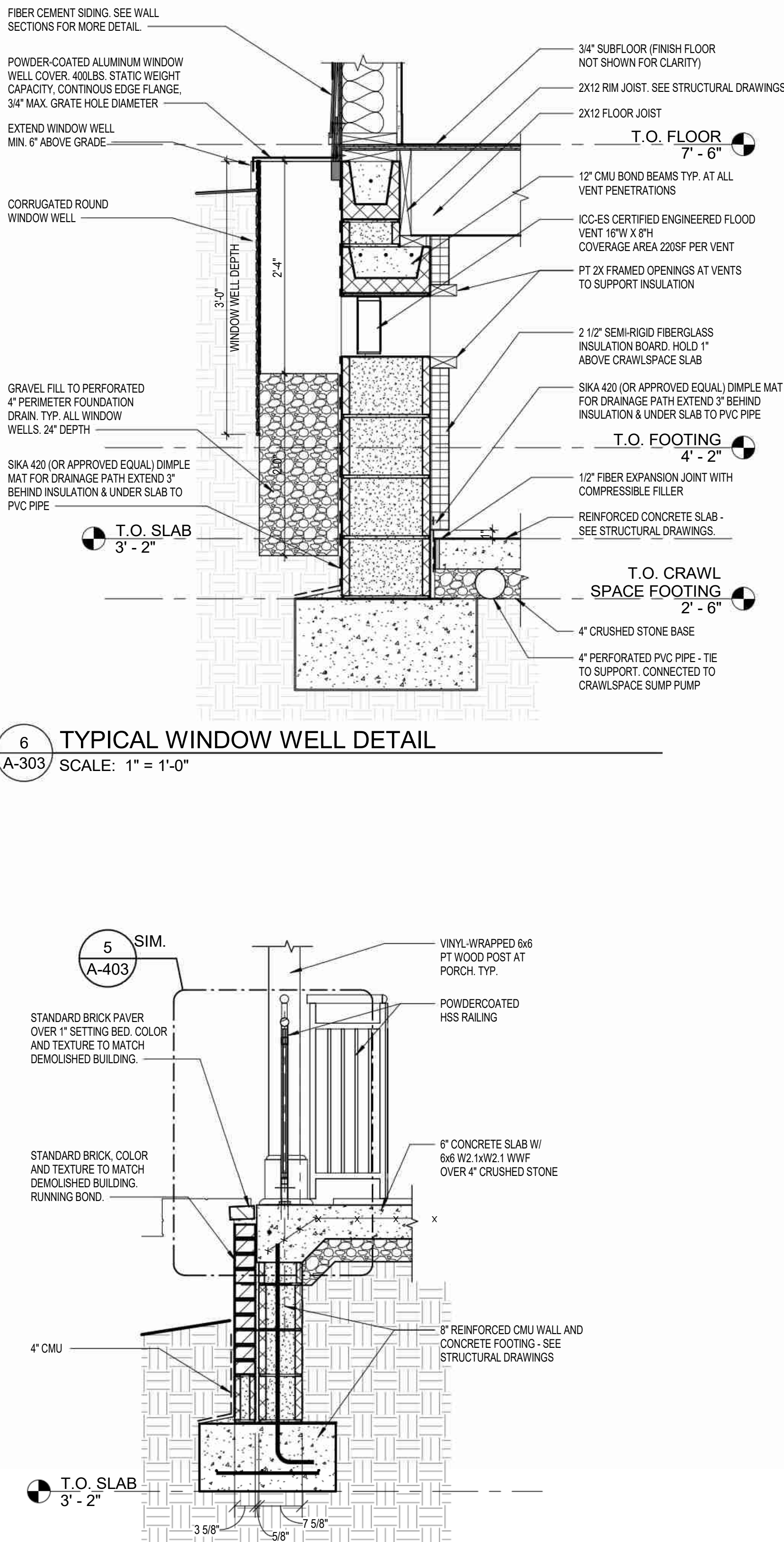
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1 FRONT PORCH SECTION
A-303 SCALE: 3/4" = 1'-0"

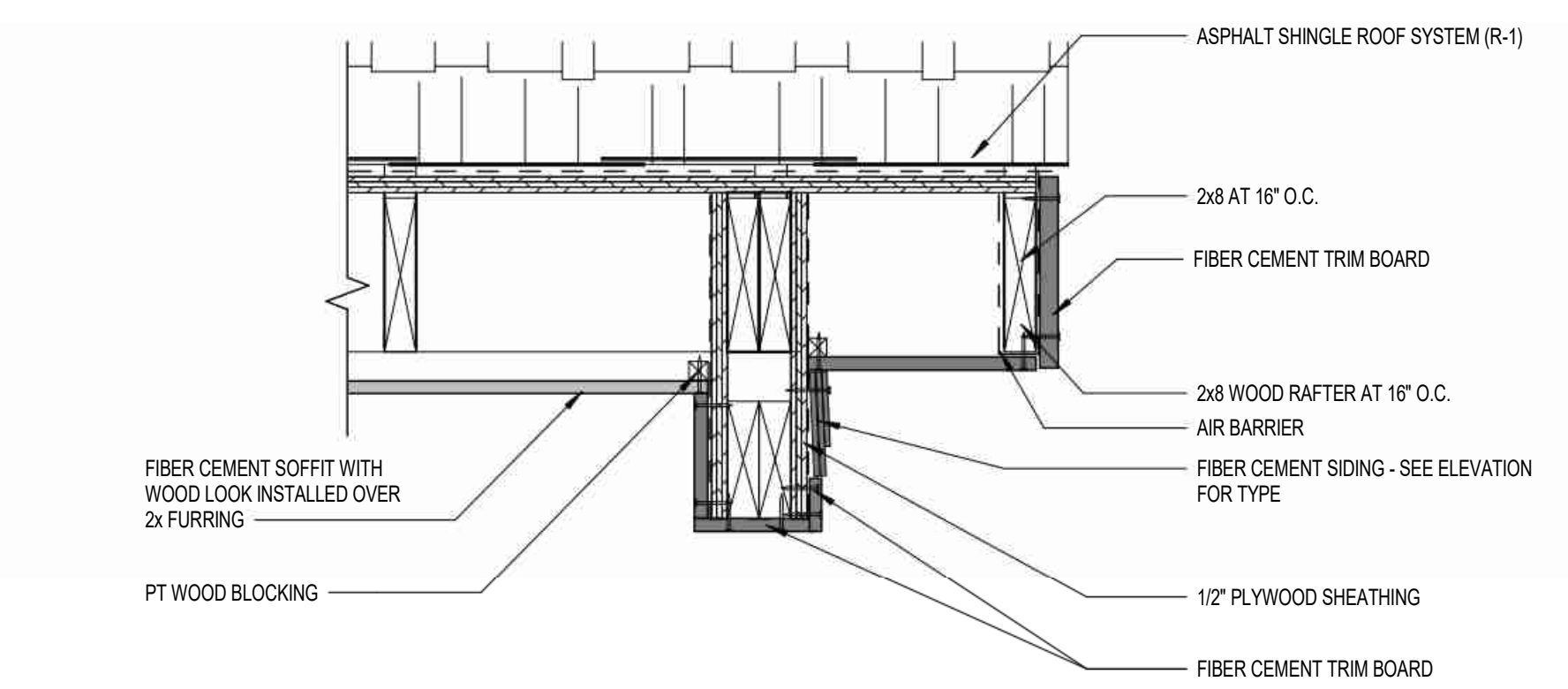


2 WALL SECTION AT BATHROOM
A-303 SCALE: 3/4" = 1'-0"

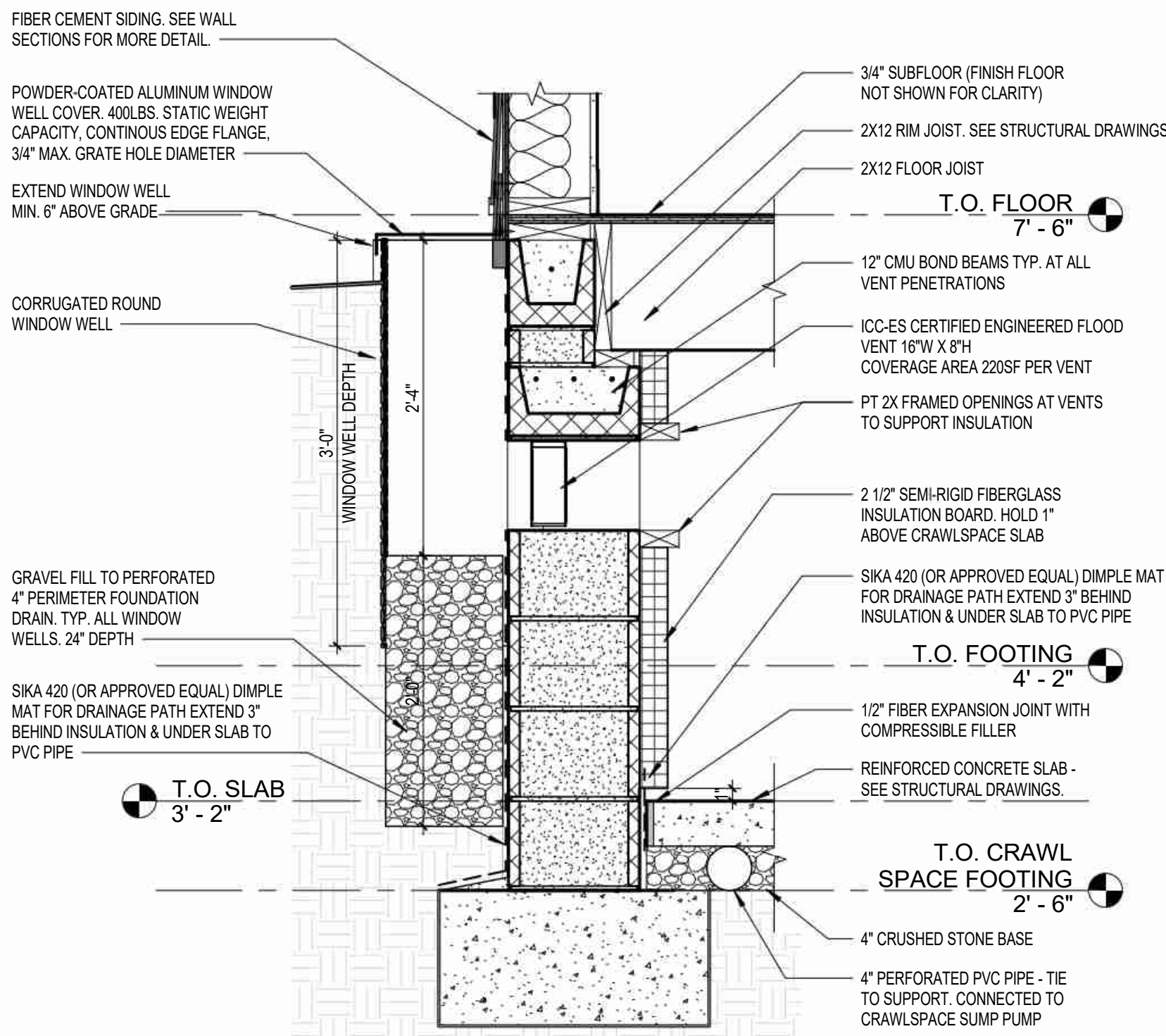


5 PORCH FOUNDATION WALL SECTION
A-303 SCALE: 3/4" = 1'-0"

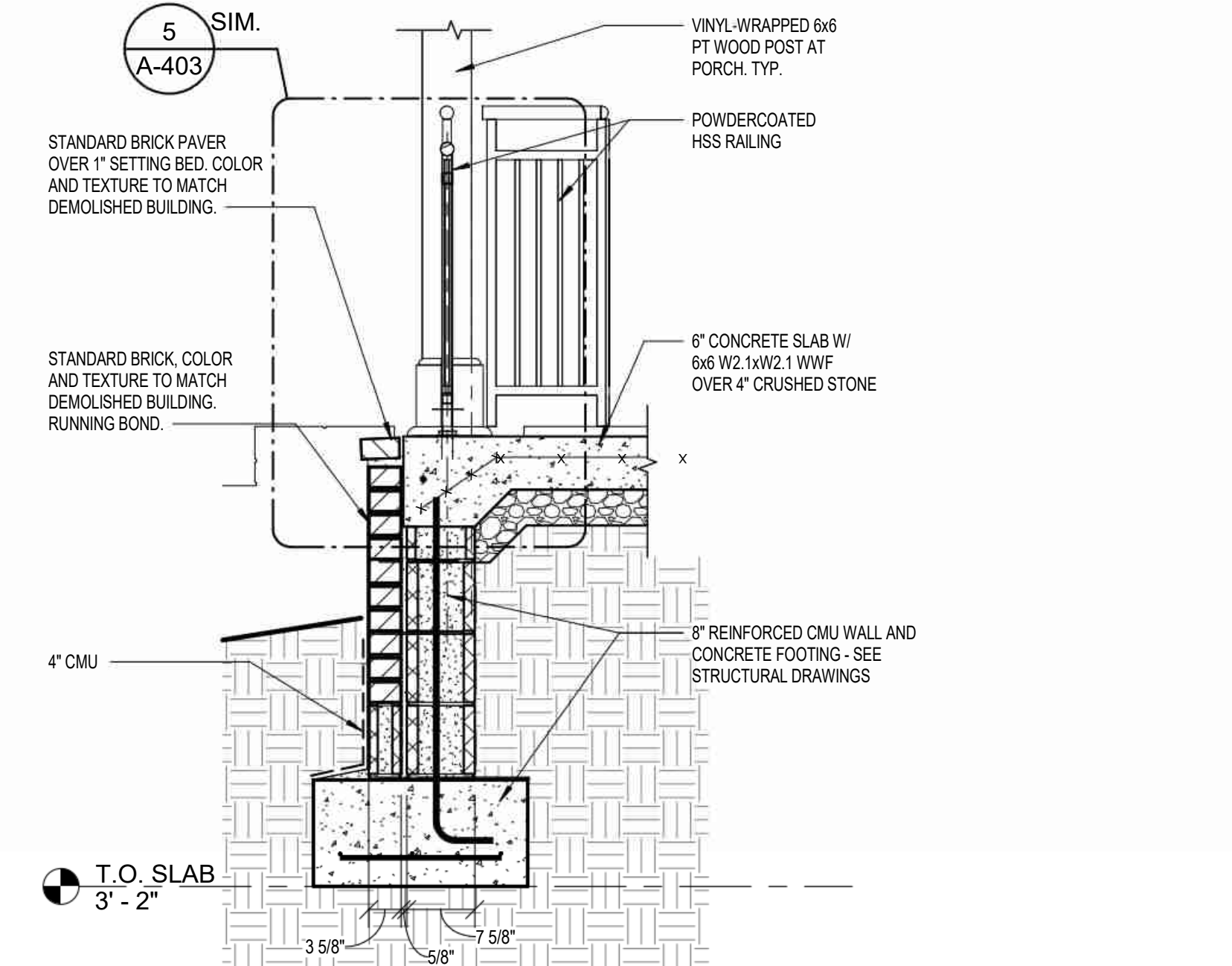
- GENERAL NOTES:
- ALL PT WOOD AGAINST CONCRETE AND METAL, SHALL BE WRAPPED WITH SELF ADHERED WATER RESISTIVE AIR BARRIER MEMBRANE
 - REFERENCE STRUCTURAL DRAWINGS FOR ALL CONCRETE AND CMU REINFORCING REQUIREMENTS



3 PORCH ROOF EDGE
A-303 SCALE: 1 1/2" = 1'-0"



6 TYPICAL WINDOW WELL DETAIL
A-303 SCALE: 1" = 1'-0"



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ARCHITECT / ENGINEER SEAL

CLIENT: DELAWARE DEPARTMENT OF TRANSPORTATION
PROJECT: NEW CONSTRUCTION
WOODLAND FERRY HOUSE
5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973

REVISIONS		
MARK	DESCRIPTION	DATE

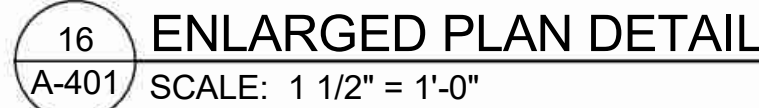
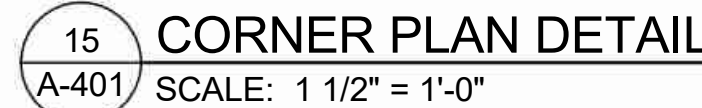
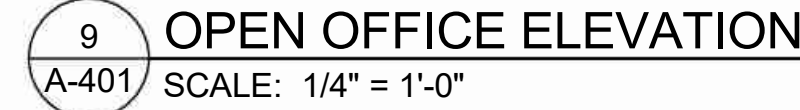
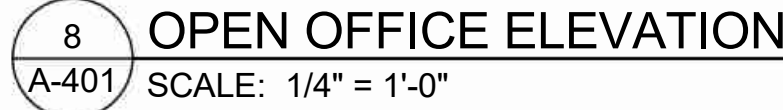
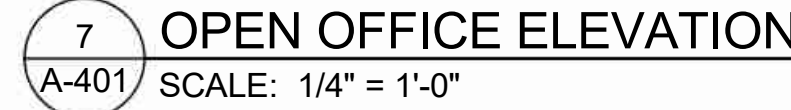
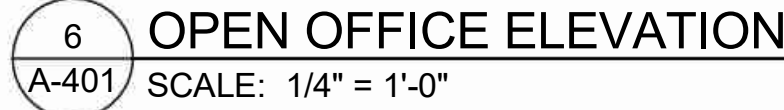
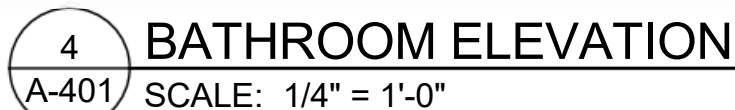
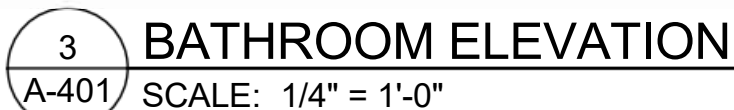
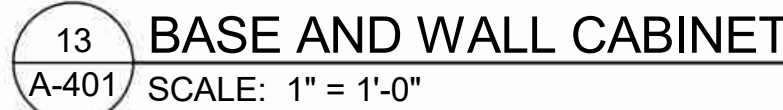
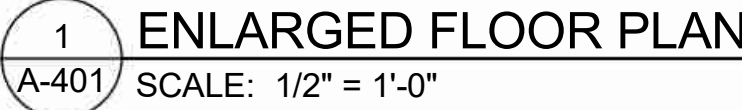
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ISSUE: PS&E REVIEW

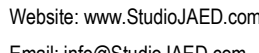
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DRAWN	CHKD	PROJECT NO.
AB	PG	21095

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EQUIPMENT SCHEDULE	
Mark	Comments
EQ-1	36" FRENCH DOOR REFRIGERATOR WITH FREEZER DRAWER
EQ-2	COUNTERTOP MICROWAVE



■ 2500 WRANGLE HILL ROAD, STE
BEAR, DELAWARE 19701

■ 308 E. CAMDEN-WYOMING AVENUE
CAMDEN, DELAWARE 19934

■ 42 WEYBOSSETT STREET, STE 4
PROVIDENCE, RHODE ISLAND 02903

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DATE OF SIGNATURE: 06-23-26
DATE OF REGISTRATION EXPIRATION: 01-31-27

ARCHITECT / ENGINEER SEA



CLIENT:
DELAWARE DEPARTMENT OF
TRANSPORTATION

PROJECT:
NEW CONSTRUCTION

WOODLAND FERRY HOUSE

5126 WOODLAND FERRY ROAD SEAFORD, DELAWARE 19973

REVISIONS

[illegible]

SHEET TITLE

ENLARGED PLANS,
INTERIOR ELEVATIONS
AND DETAILS

ISSUE PS&E REVIEW

JUNE 19, 2026

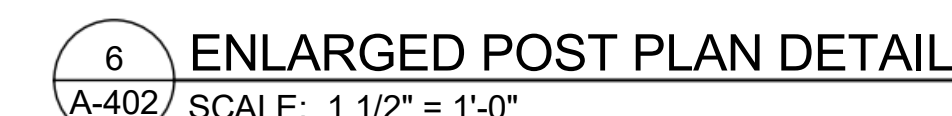
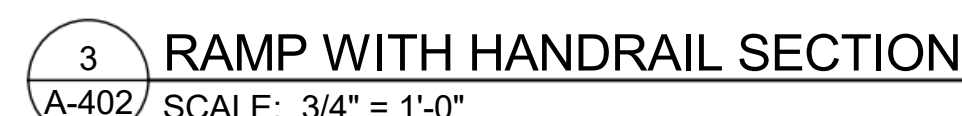
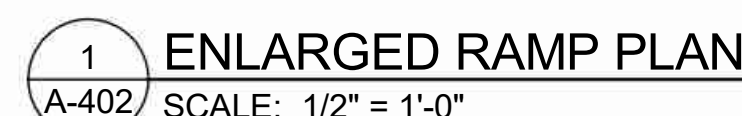
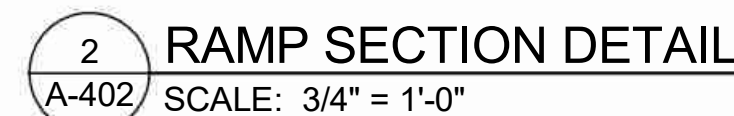
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AB	PG	21095

SHEET NO.

A-401

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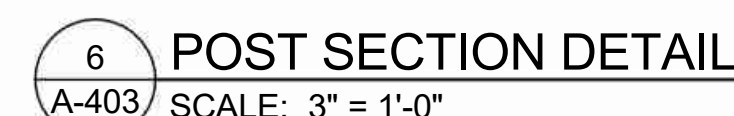
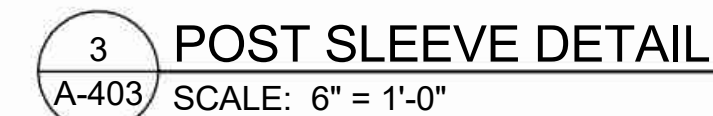
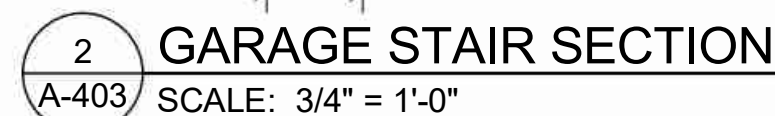
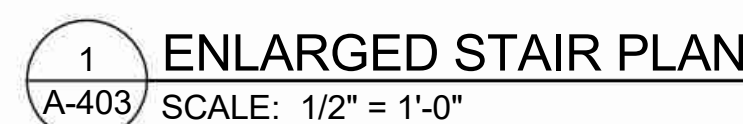


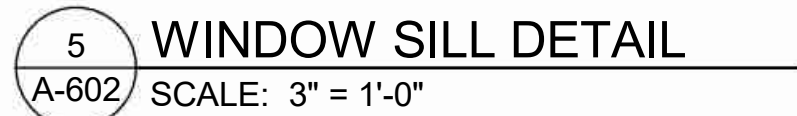
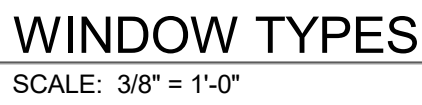
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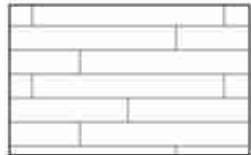




Item	Description	Location	Manufacturer	Collection / Style / Finish	Color	Size / Note
LVP-1	Luxury Vinyl Plank	Office and Corridor	Shaw Contract	Terrain II 20 Mil	TBD	6" x 48" plank. Install with Groundworks Underlayment.
SS-1	Solid Surface	Kitchenette Countertops and Bathroom	Wilsonart	Solid Surface	TBD	
PLAM-1	Laminate	Vertical surfaces at Kitchenette	Panolam	Standard HPL Fine Velvet Finish	TBD	3mm Edge banding color to match TBD
PT-1	Paint	Primary Wall Field Color	Shenwin Williams	Eggshell Finish	TBD	Current owner standard
PT-2	Paint	Accent Wall Color 1	Shenwin Williams	Eggshell Finish	TBD	
PT-3	Paint	Door / Window Frames	Shenwin Williams	Semi-Gloss Finish	TBD	
PT-4	Paint	Ceiling Paint Color	Shenwin Williams	Matte Finish	Ceiling White	
PT-5	Paint	Exterior Shutter Color	Shenwin Williams	Semi-Gloss Finish	TBD	*Match existing shutter color.
PT-6	Stain	Exterior Columns	Shenwin Williams	Semi-Transparent	TBD	
PT-7	Paint	HVAC Ductwork Color	Shenwin Williams	Gloss	TBD	
BS-1	Rubber Cove Base	All spaces	Roppe	Countours Profiled Wall Base System Fashion #85 PV4085	TBD	4" high / Rolled Goods
CT-1	Ceramic Tile	Bathroom Floors	DalTile	Slate Attache	TBD	12"x24"
CT-2	Ceramic Tile	Bathroom Walls	DalTile	Rigid Clay	TBD	12"x24"
SC	Sealed Concrete	At Garage				
	Walk Off Mat	At Front Door	WaterHog	Eco Premier Fashion Mats		3'-0" x 4'-0"

ROOM FINISH SCHEDULE								
NUMBER	NAME	FINISHES						NOTES
		FLOOR	BASE	WALLS				
				NORTH	EAST	SOUTH	WEST	
01	OPEN OFFICE	LVT-1	RB-1	PT-2	PT-1	PT-1	PT-1	
02	OFFICE	LVT-1	RB-1	PT-1	PT-1	PT-1	PT-1	
03	HALL	LVT-1	RB-1	PT-1	PT-1	PT-1	PT-1	
04	RESTROOM	CT-1		CT-2	CT-2	CT-2	CT-2	
05	STORAGE/GARAGE	SC	RB-1	PT-1	PT-1	PT-1	PT-1	

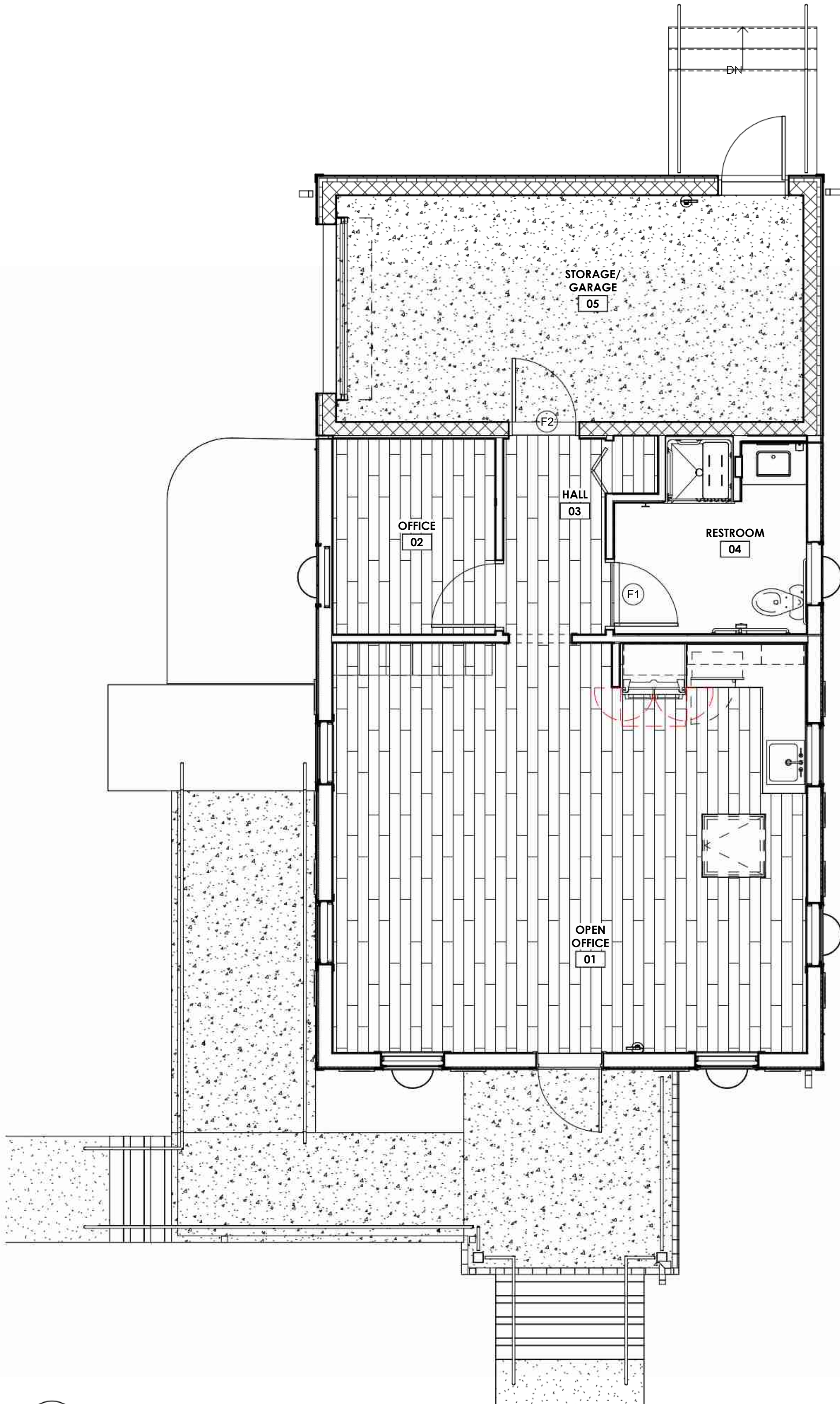
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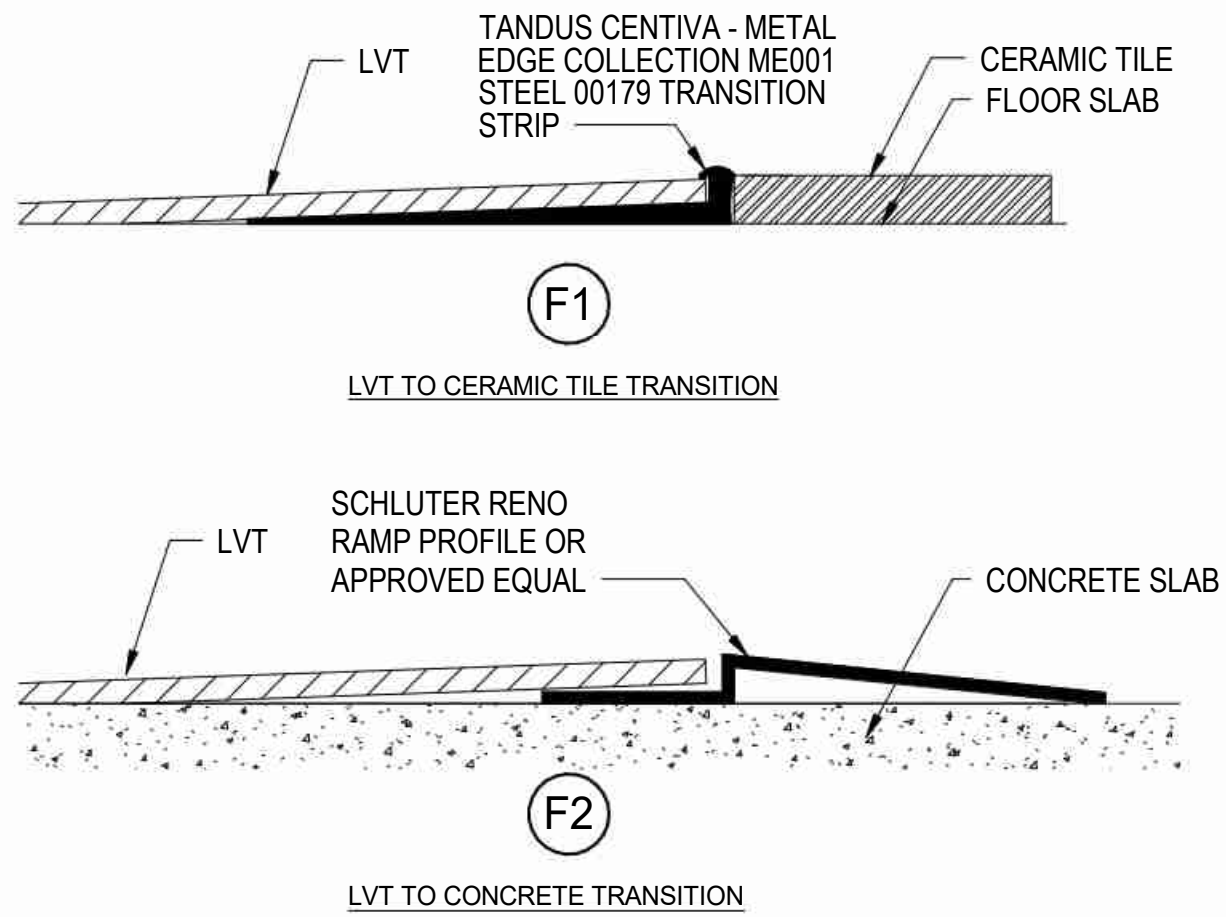
HATCH INDICATES EXTENT
OF LUXURY VINYL PLANK
(LVT-1)



HATCH INDICATES EXTENT OF
CERAMIC TILE (CT-1)
SHOWN ON ELEVATIONS



1 FINISH FLOOR PLAN
A-801 SCALE: 1/4" = 1'-0"



2 TRANSITION DETAILS

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ARCHITECT / ENGINEER SEAL



CLIENT:
DELAWARE DEPARTMENT OF
TRANSPORTATION

PROJECT: NEW CONSTRUCTION

WOODLAND FERRY HOUSE

5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973

REVISIONS

[illegible]

SHEET TITLE

INTERIOR FINISHES

ISSUE

PS&E REVIEW

JUNE 19, 2026

DRAWN	CHK'D	PROJECT NO.
AB	PG	21095

SHEET NO.

A-801

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CLIENT: DELAWARE DEPARTMENT OF TRANSPORTATION

PROJECT: NEW CONSTRUCTION

WOODLAND FERRY HOUSE

5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973

REVISIONS

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SHEET TITLE

HVAC PLANS

ISSUE
PS&E REVIEW

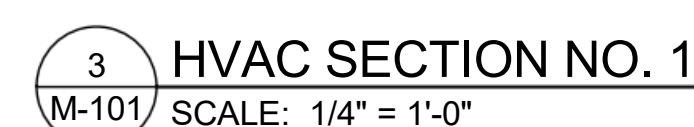
JUNE 19, 2026

DRAWN	CHK'D	PROJECT NO.
DLS	DLS	21095

SHEET NO.

M-101

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1. ALL NEW SUPPLY AIR DIFFUSERS AND RETURN AIR REGISTERS SHALL BE EQUIPPED W/ MGR. SUPPLIED VOLUME DAMPERS.
2. ALL DUCTS SHALL BE CONNECTED TO AIR OUTLETS, AIR INLETS, AND AIR HANDLING DEVICES TO PROVIDE A COMPLETE DUCTWORK SYSTEM FOR CONNECTION TO AIR OUTLETS UP TO 5 FEET OF FLEX DUCT SHALL BE USED WHERE CONCEALED FROM OCCUPANT VIEW. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TRANSITIONS TO ENSURE PROPER AND ADEQUATE CONNECTIONS OF ALL DUCTWORK TO ALL AIR INLETS, OUTLETS, AIR HANDLING DEVICES AND AIR TERMINAL DEVICES. DUCTWORK IS TO BE COORDINATED WITH TRANSFER AIR OPENINGS AND ROOF TRUSS SYSTEM, OR STRUCTURAL STEEL.
3. THE RETURN AIRFLOWS INDICATED ON THE PLANS CORRESPOND TO THE OCCUPIED MODE WITH MINIMUM OUTSIDE AIR BEING SUPPLIED. THE BALANCE REPORT IS TO INDICATE THESE AIRFLOWS IN THIS MODE OF OPERATION.
4. HVAC EQUIPMENT SHALL BE FURNISHED WITH A MOTOR STARTER SUITABLE FOR THE OFF-ON CONTROL OF THE MOTOR BY A REMOTE THERMOSTAT OR BAS CONTACT. THESE STARTERS SHALL COMPLY WITH NATIONAL ELECTRIC CODE.
5. ALL AIR HANDLING UNITS ARE TO BE INSTALLED TO PROVIDE ADEQUATE, UNOBSTRUCTED, ACCESS AND CLEARANCE FOR AIR FILTER REPLACEMENT.
6. ALL MOTORS FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR (OR A MECHANICAL SUBCONTRACTOR) SHALL BE PROTECTED AGAINST OVERLOAD IN ACCORDANCE WITH N.E.C. ARTICLE 430, SECTION C.
7. ALL NEW CEILING MOUNTED AIR INLETS AND AIR OUTLETS ARE TO BE COORDINATED WITH LIGHTING. A NEAT, SYMMETRICAL INSTALLATION IS TO BE MAINTAINED; WITH CEILING MOUNTED AIR INLETS/OUTLETS IN PROXIMITY TO LOCATIONS SHOWN ON THE PLANS. IN THE CASE THAT THERE IS A CONFLICT, THE LOCATION OF THE LIGHTING WILL TAKE PRECEDENCE AND THE INLET/OUTLET SHALL BE RELOCATED AS CLOSE AS POSSIBLE. DUCTWORK SHOP DRAWINGS ARE TO SHOW PLACEMENT OF AIR INLETS/OUTLETS WITH LIGHTING OVERLAP ON THE SAME PLAN. CONTRACTORS ARE TO USE REFLECTED CEILING PLAN AS BASIS FOR COORDINATION.
8. THE CONTRACTOR SHALL PROVIDE ALL WALL AND ROOF PENETRATIONS REQUIRED FOR DUCT ROUTING. THE CONTRACTOR SHALL PATCH AND PAINT ALL PENETRATIONS LEFT BY DEMOLITION WORK AND BY CLEARANCE OPENINGS THAT REMAIN AFTER NEW DUCT INSTALLATIONS.
9. ALL THERMOSTATS SHOWN ON HVAC PLANS ARE TO BE MOUNTED 4" (40") MAXIMUM AFF. (TOP OF UNIT), UNLESS NOTED OTHERWISE. CONTRACTOR IS RESPONSIBLE FOR MOUNTING & WIRING ALL THERMOSTATS. PLENUM RATED CABLES MUST BE USED.
10. THE CONTRACTOR SHALL PROVIDE RADIIUSED ELBOWS OR SQUARE THROAT ELBOWS WITH VANES FOR ALL DUCTWORK CHANGES IN DIRECTION, PER SMACNA HVAC DUCT CONNECTION STANDARDS METAL AND FLEXIBLE. SQUARE THROAT ELBOWS WITHOUT VANES AND MITERED ELBOWS ARE NOT PERMITTED.
11. ALL FAN COLLS UNITS ARE TO HAVE 24" MINIMAL CLEARANCE ON ACCESS SIDE COORDINATE UNIT SUSPENSION WITH STRUCTURE.
12. INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURER'S WRITTEN INSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADDITIONAL COSTS INCURRED AS A RESULT OF SUBSTITUTIONS OR DEVIATIONS FROM THE BASIS OF DESIGN SHOWN ON THESE DRAWINGS.
14. CONTRACTOR SHALL PROVIDE TRANSITIONS AND FLEXIBLE CONNECTIONS BETWEEN ALL UNITS AND SUPPLY, RETURN, OR OUTSIDE AIR DUCTS.

ELECTRICAL SYMBOL LEGEND	
Power Devices	
	GENERAL PURPOSE DUPLEX RECEPTACLE - 20AMP, 125VOLTS, NEMAS-20R, TAMPER RESISTANT. ELECTRICAL BOX TO BE 2-1/8" DEEP.
	GENERAL PURPOSE QUADRIPLEX RECEPTACLE - 20AMP, 125VOLTS, NEMAS-20R, TAMPER RESISTANT. ELECTRICAL BOX TO BE 2-1/8" DEEP.
GFCI OR GFCI	GENERAL PURPOSE GFCI RECEPTACLE (DUPLEX OR QUADRIPLEX) - 20AMP, 125VOLTS, NEMAS-20R, TAMPER RESISTANT. ELECTRICAL BOX TO BE 2-1/8" DEEP. OUTLETS INSTALLED OUTDOORS OR ON ROOF SHALL HAVE DECAST ALUMINUM BOX 2-1/8" DEEP. AND WHILE IN USE COVER THOMAS & BETTS OXSV OR APPROVED EQUAL.
GFCI/WP	GENERAL PURPOSE GFCI DUPLEX RECEPTACLE (WEATHERPROOF) - 20AMP, 125VOLTS, NEMAS-20R, ELECTRICAL BOX TO BE 2-1/8" DEEP. OUTLETS INSTALLED OUTDOORS OR ON ROOF SHALL HAVE DECAST ALUMINUM BOX 2-1/8" DEEP, AND WHILE IN USE COVER THOMAS & BETTS OXSV OR APPROVED EQUAL.
	JUNCTION BOX
	FRACTIONAL HORSEPOWER MOTOR STARTER WITH OVERLOAD IN NEMA 1 ENCLOSURE, S/QD FG2P OR APPROVED EQUAL FOR INDOORS, FVW2P FOR OUTDOORS WITH NEMA 4 ENCLOSURE
	FUSED DISCONNECT SWITCH+HEAVY DUTY, 3POLE WITH FUSE CLIPS SUITABLE FOR CLASS "R" FUSES, NEMA1 UNO. W/ NEMA THER PROOF-NEAR-ENCLOSURE (NON-ENCLOSURE: 30A/20A = SWITCH SIZE/FUSE SIZE), S/D CLASS 3110 OR EQUAL.

\$	WALL SWITCH - 20A, 120/277V, SINGLE POLE, HEAVY DUTY, TOGGLE TYPE
\$ ₃	WALL SWITCH (3-WAY) - 20A, 120/277V, SINGLE POLE, HEAVY DUTY, TOGGLE TYPE
\$ _D	SLIDING DIMMER WITH ON/OFF SWITCH, RATED FOR 120/277V - 10/5 AMP, LEGRAND CD4FLR / CD4FLB3P OR EQUAL. COLOR TO BE SELECTED BY ARCHITECT. PROVIDE LOW VOLTAGE WIRING BETWEEN SWITCH AND LIGHT FIXTURES.
\$ _{DMS}	DIMMING WALL SWITCH SENSOR, DUAL TECHNOLOGY: HUBBELL BUILDING AUTOMATION HD-RS-3-N-IV OR APPROVED EQUAL. PROVIDE CLASS 2 WIRING BETWEEN LIGHT FIXTURES AND WALL SENSORS.
(MS)	CEILING MOUNTED MOTION SENSOR, DUAL TECHNOLOGY MOTION SENSOR OMNI-DT-2000 OR APPROVED EQUAL.
(PC)	PHOTOCELL DAYLIGHT SENSOR - LOCATIONS SHOWN ARE DIAGRAMATIC. COORDINATE LOCATION IN FIELD WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
(PP)	POWER PACK - CURRENT / I/VPV OR APPROVED EQUAL. PROVIDE LOW VOLTAGE WIRING TO MOTION SENSOR. CONNECT TO LOCAL LIGHTING CIRCUIT WITH 2#12 - #12G5 - 3/4" C/WIRING.
(RLC)	ROOM LIGHTING CONTROLLER - CURRENT LIGHTING/NXPFC2-2RD OR APPROVED EQUAL. PROVIDE LOW VOLTAGE WIRING IN 3/4" AS REQUIRED. CONTROLLER SHALL AUTOMATICALLY DIM LIGHT FIXTURES IN THE "DAYLIGHT

	FIELD CONFIGURABLE NOTIFICATION DEVICE (AUDIOVISUAL) - HORN WITH STROBE AS SINGLE ASSEMBLY, REQUIRED CANDELA RATING "X" INDICATED "X cd".
	DETECTION DEVICE - SMOKE DETECTOR - PHOTOELECTRIC PRODUCTS OF COMBUSTION DETECTOR
CO	DETECTION DEVICE - COMBINATION CARBON MONOXIDE & SMOKE DETECTOR - PHOTOELECTRIC PRODUCTS OF COMBUSTION DETECTOR

TYPE "B" INFORMATION OUTLET WITH (1) R4S CAT6 JACK DATA AND (1) R4S CAT6 PATCH PANEL MOUNT @ 18" A.F.F. UNLESS OTHERWISE SHOWN OR NOTED. GENERAL CONTRACTOR SHALL INSTALL BOICES AND CONDUIT ALL PATCH CABLES AND TERMINATIONS SHALL BE BY OTHERS. ELECTRICAL BOX TO BE 2-1/8" DEEP.

TELECOMMUNICATION OUTLET - DATA WIRING DEVICE WITH R4S, CAT6 JACKS MOUNT @ 18" A.F.F. UNLESS STATED OR SHOWN OTHERWISE. GENERAL CONTRACTOR SHALL PROVIDE ALL PATCH CABLES AND TERMINATIONS SHALL BE BY OTHERS. ELECTRICAL BOX TO BE 2-1/8" DEEP.

TELECOMMUNICATION OUTLET - DATA WIRING DEVICE WITH R4S, CAT6 JACKS MOUNT @ 18" A.F.F. UNLESS STATED OR SHOWN OTHERWISE. GENERAL CONTRACTOR SHALL PROVIDE ALL PATCH CABLES AND TERMINATIONS SHALL BE BY OTHERS. ELECTRICAL BOX TO BE 2-1/8" DEEP.

SURVEILLANCE CAMERA - BULLET. GENERAL CONTRACTOR SHALL PROVIDE A TYPE CX DATA INFORMATION OUTLET WITH X NUMBER OF DATA CONNECTIONS INSIDE THE BUILDING FOR VIDEO SURVEILLANCE CAMERAS. MOUNT DATA INFORMATION OUTLET CONCEALED UP ALONG CEILING OR ABOVE CEILING IN AREAS WHERE THERE IS ONE, AND INSTALL CONDUIT FROM OUTLET THROUGH THE WALL TO THE CAMERA. ALL PENETRATIONS ARE MADE WEATHER TIGHT. PROVIDE 3/4" CONDUIT WITH PULL STRING FROM MIDF ROOM TO DATA INFORMATION OUTLET. THE OWNER PRIOR TO THE INSTALLATION OF THE CAMERA AND INSTALLATION OF VIDEO SURVEILLANCE CAMERAS AND ASSOCIATED EQUIPMENT ALONG WITH PATCH CABLES ARE BY OTHERS.



ELECTRICAL GENERAL NOTES

1. PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, COORDINATION, ADDITIONAL DESIGN AND ALL INCIDENTALS NECESSARY TO PROVIDE A COMPLETE AND OPERABLE SYSTEM AS DETAILED ON PLANS TO THE SATISFACTION OF THE ENGINEER AND THE OWNER. COORDINATE ALL WORK WITH THE ENGINEER BEFORE THE START OF WORK.
2. PRIOR TO SUBMITTING BID, THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS AND PROPOSED CONSTRUCTION. CONTRACTOR SHALL INCLUDE IN THEIR BID ALL MATERIAL, LABOR, AND ALL INCIDENTALS FOR A COMPLETE INSTALLATION WHETHER SPECIFICALLY INDICATED OR NOT. ALL ERRORS, DISCREPANCIES AND MISSED ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER DURING THE BIDDING PROCESS BY THE CONTRACTOR. THESE ITEMS SHALL BE INCLUDED IN THE BID PRICE. NO EXTRA COST WILL BE ALLOWED FOR ANY DISCREPANCY WHICH COULD HAVE BEEN NOTICED AT THE SITE VISIT BY THE CONTRACTOR.
3. PERFORM WORK AS REQUIRED BY APPLICABLE CODES, REGULATIONS, AND LAWS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS AND OTHER AUTHORITIES WITH LAWFUL JURISDICTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE.
4. MATERIAL AND EQUIPMENT SHALL BE UL, NEMA, ANSI, IEEE, A & C'S APPROVED FOR INTENDED PURPOSE. MATERIAL AND INSTALLATION SHALL MEET REQUIREMENTS OF NATIONAL AND LOCAL ELECTRICAL CODE.
5. GIVE NOTICES, FILE PLANS, OBTAIN PERMITS, AND LICENSES, PAY FEES AND BACK CHARGES, AND OBTAIN NECESSARY APPROVALS FROM AUTHORITIES THAT HAVE JURISDICTION.
6. MAINTAIN RECORD DRAWINGS ON SITE. RECORD SET MUST BE COMPLETE AND CURRENT AND AVAILABLE FOR INSPECTION WHEN REQUESTS FOR PAYMENT ARE SUBMITTED.
7. GUARANTEE WORK IN WRITING PER SPECIFICATIONS, REPAIR OR REPLACE DEFECTIVE MATERIALS OR INSTALLATION AT NO COST TO OWNER DURING THE GUARANTEE PERIOD. CORRECT DAMAGE CAUSED IN MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE AT NO COST TO OWNER. SUMMIT GUARANTEE TO OWNER BEFORE FINAL PAYMENT.
8. COORDINATE ALL ELECTRICAL ITEMS WITH EXISTING FIELD CONDITIONS. LOCATIONS SHOWN ARE APPROXIMATE AND MAY REQUIRE MINOR ADJUSTMENT IN THE FIELD TO SATISFY THE DESIGN INTENT.
9. DAMAGE TO EXISTING FACILITIES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED IMMEDIATELY BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
10. THE LOCATIONS ON THESE PLANS ARE APPROXIMATE AND REQUIRE COORDINATION WITH ALL OTHER TRADES AND VERIFICATION OF EXISTING CONDITIONS. ROUTING OF CONDUIT IS DIAGRAMMATIC IN NATURE AND NOT INTENDED TO SHOW ALL WORKING DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR THE DETERMINATION OF EXISTING ASSOCIATED EQUIPMENT AND CONDITIONS. COORDINATE THE LOCATION OF ALL EQUIPMENT WITH THE ENGINEER AND THE OWNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER TRADE'S DRAWINGS AND SPECIFICATIONS AND COORDINATING WITH ALL OTHER TRADES DURING BIDDING AND CONSTRUCTION.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUITY OF ALL POWER, CONTROL, FIRE ALARM, SECURITY SYSTEMS, AND COMMUNICATIONS FUNCTIONS TO ALL AREAS AFFECTED BY DEMOLITION AND/or NEW CONSTRUCTION.
12. REPAIR AND PATCH ANY DISTURBED AREAS TO MATCH ADJACENT CONSTRUCTION.
13. DISCONNECT AND MAKE SAFE ANY EQUIPMENT TO BE REMOVED BY OTHERS. COORDINATE REMOVAL OF EQUIPMENT WITH OTHER TRADES PRIOR TO DEMOLITION.
14. IN ANY AREA REQUIRING THE PERFORMANCE OF ANY TRADE'S WORK, THIS CONTRACTOR SHALL CAREFULLY REMOVE AND STORE ANY OR ALL ELECTRICAL ITEMS IN PATH OF WORK. REINSTALLING AND RECONNECTING SAME AS REQUIRED, IN ACCORDANCE WITH THE PLANS AND/OR AS DIRECTED AFTER COMPLETION OF OTHER TRADE'S WORK IN THAT AREA.
15. PRIOR TO THE START OF DEMOLITION, CONTRACTOR SHALL FIELD VERIFY ALL BRANCH CIRCUITS AND MAINTAIN THOSE CIRCUITS THAT EXTEND OUTSIDE THE SCOPE OF WORK.
16. AFTER REMOVING EXISTING ELECTRICAL WORK, THE CONTRACTOR SHALL ENSURE THAT ALL REMAINING AND NEW EQUIPMENT WILL OPERATE PROPERLY, INCLUDING BUT NOT LIMITED TO BACKFEEDING OF EXISTING POWER AND LIGHTING CIRCUITS. REFER TO SINGLE LINE DIAGRAM.
17. ALL ELECTRICAL WORK INDICATED TO REMAIN SHALL BE SUITABLY PROTECTED TO PREVENT ANY DAMAGE.
18. WHERE ELECTRICAL SYSTEMS PASS THROUGH REMOVED AREAS TO SERVE OTHER PORTIONS OF THE PREMISES, SYSTEMS SHALL BE SUITABLY PROTECTED TO PREVENT DAMAGE OR DELEGATED AND THE SYSTEMS RESTORED TO NORMAL OPERATION. ANY OUTAGES IN SYSTEMS SHALL BE COORDINATED WITH OWNER. RESTORE POWER TO EXISTING TO REMAIN EQUIPMENT IF INTERRUPTED BY DEMOLISHED CIRCUITS IN THE AREA.
19. CONTRACTOR SHALL SUBMIT FOR REVIEW, SHOP DRAWINGS FOR ALL EQUIPMENT AND MATERIALS USED ON THE PROJECT. SUBMITTALS SHALL BE REVIEWED BY THE ENGINEER BEFORE PURCHASE OF MATERIALS.
20. ALL WIRING SHALL BE COPPER, 75/90° RATED WITH FLAME-RETARDANT, HEAT AND MOISTURE RESISTANT INSULATION.
21. PERMANENTLY LABEL ALL NEW ELECTRICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, DEVICE IDENTIFICATION AND SUPPLY CIRCUIT DESIGNATION. UPDATE OR REPLACE PANEL DIRECTORIES TO INCLUDE NEW CIRCUIT INFORMATION RESULTING FROM THIS PROJECT.
22. PROVIDE TEMPORARY POWER AND LIGHTING FOR ALL TRADES AS REQUIRED TO COMPLETE THE PROJECT. ALL TEMPORARY AND INTERIM EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS INCLUDING, BUT NOT LIMITED TO NFPA 110 AND NFPA 70.
23. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION THAT IS NOT SHOWN ON THE DRAWINGS.
24. OPENINGS IN EXISTING CONCRETE WALLS AND FLOORS REQUIRED FOR CONDUIT INSTALLATION SHALL BE CORE DRILLED. MAXIMUM CORE DRILL SIZE SHALL BE 8 IN DIAMETER. CORE DRILL LOCATIONS SHALL BE SPACED A MINIMUM OF 8" FROM EACH OTHER MEASURED FROM THE OUTSIDE EDGE OF THE CORE DRILL. ALL CORE DRILL OPENINGS SHALL BE PROPERLY SEALED ACCORDING TO THEIR LOCATION AND APPLICATION.
25. ALL OUTAGES SHALL BE KEPT TO A MINIMUM. ALL WORK THAT REQUIRES A SUSTAINED EQUIPMENT OUTAGE SHALL BE PERFORMED CONTINUOUSLY AROUND THE CLOCK UNTIL WORK IS COMPLETED UNLESS NOTED OTHERWISE. COORDINATE OUTAGES WITH OWNER REPRESENTATIVE.
26. PROVIDE FOR EACH BRANCH CIRCUIT AND FEEDER CIRCUIT A DEDICATED EQUIPMENT GROUND WIRE. FOR SINGLE PHASE BRANCH CIRCUITS OF 120 V/1PH OR 277V/1PH, PROVIDE DEDICATED HOT, DEDICATED NEUTRAL, AND DEDICATED EQUIPMENT GROUND WIRE. SHARING OF NEUTRAL OR EQUIPMENT GROUND WIRE IS NOT PERMITTED. WIRING TO ALL HVAC EQUIPMENT OR OTHER TRADE EQUIPMENT SHALL BE IN CONDUIT. ALL EQUIPMENT AND FEEDER WIRING IN BOLTER ROOM/ELECTRICAL ROOM SHALL BE IN RIGID CONDUIT. USE OF MC CABLE IS LIMITED TO BRANCH CIRCUIT WIRING ABOVE RECESSED CEILING OR CONCEALED IN WALL. WIRING TO OUTLETS ON TABLE SHALL BE PROVIDE IN EITHER EMT CONDUIT OR FLEXIBLE METAL CONDUIT.
27. PROVIDE IDENTIFICATION LABELS FOR ALL BRANCH CIRCUITS AND FEEDERS CIRCUITS AT JUNCTION BOXES, PANELBOARDS, TROUGHS, AND SPLICER BOXES.
28. PROVIDE UNSPECIFIED FEEDERS FROM PANELBOARD OR SWITCHBOARD TO ALL EQUIPMENT, INCLUDING ALL 20 AMPERE, SINGLE POLE BRANCH CIRCUIT WIRING.
29. ALL WIRING DEVICES ARE TO BE RECESSED WHERE POSSIBLE. WHERE RECESSING IS NOT POSSIBLE, WIRING DEVICES ARE TO BE SURFACE MOUNTED WITH CIRCUIT WIRING ROUTED IN SURFACE MOUNTED CONDUIT PER SPECIFICATIONS.
30. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL (2) #14-3/4" FROM EACH VENDOR SUPPLIED DUCT SMOKE DETECTOR TO FACP. (FACP) DETECTION LOCATIONS: EACH ROOM. CORE DRILL LOCATIONS SHALL BE SPACED A MINIMUM OF 8" FROM EACH OTHER MEASURED FROM THE OUTSIDE EDGE OF THE CORE DRILL. ALL CORE DRILL OPENINGS SHALL BE PROPERLY SEALED ACCORDING TO THEIR LOCATION AND APPLICATION.
31. (1) SUPPLY DUCT SMOKE DETECTOR AND (1) RETURN DUCT SMOKE DETECTOR.
32. ALL CONDUIT PENETRATIONS THROUGH WALLS OR CEILINGS TO BE PATCHED AND SEALED WITH FIRE RATED FOAM SEALANT.
33. PROVIDE INSULATING BUSHINGS ON CONDUIT THREADS OR CONNECTORS WHERE RACEWAYS WITH CONDUITS OR MC CABLES ENTER A BOX OR ENCLOSURE. THIS BUSHING SHALL BE INSTALLED ON ALL CABLES AND CONDUITS.

ELECTRICAL ABBREVIATIONS

(D) - DENOTES EQUIPMENT OR WIRING TO BE DEMOLISHED	KVA - KILO VOLT AMPERE
(E) - DENOTES EXISTING EQUIPMENT OR WIRING TO REMAIN	LG - LG CORPORATION
(N) - DENOTES NEW EQUIPMENT OR WIRING	LI - LONG TIME + INSTANTANEOUS
	LSI - LONG TIME + SHORT TIME + INSTANTANEOUS
A - AMPS	MDF - MAIN DISTRIBUTION PANEL
AF - AMPERE FRAME	MIS - MANUAL TRANSFER SWITCH
AF - ABOVE FF	MVASC - MEGA VOLT AMPERE SHORT CIRCUIT
AT - AMPERE TRIP	OC - ON CENTER
ATS - AUTOMATIC TRANSFER SWITCH	PH - PHASE
BUCS - BUILDING	Q - QWIK OPEN PROTECTION
C - CONDUIT	SPD - SURGE PROTECTIVE DEVICE
CB - CIRCUIT BREAKER	SW - SWITCH
ENCL - ENCLOSURE	SWBD - SWITCHBOARD
FA - FIRE ALARM	UG - UNDERGROUND
G - GROUND	V - VOLTS
GE - GENERAL ELECTRIC	W - WATTS OR WIRE
KA - KILO AMPERE	Z - IMPEDANCE
KV - KILO VOLT	

PROVIDE NEW FIRE ALARM SYSTEM DEVICES AND CONNECT TO EXISTING FIRE ALARM SYSTEM. ALL NEW DEVICES AND WIRING SHALL BE COMPATIBLE WITH EXISTING FIRE ALARM SYSTEM. PROVIDE REQUIRED TESTING AND INSPECTION AS REQUIRED BY STATE OF DELAWARE FIRE MARSHALL'S OFFICE.

GRAPHIC CONVENTIONS	
Wiring Devices HOMERUN PANEL DESIGNATION → PLA-11 → BRANCH CIRCUIT DESIGNATION OUTLETS TO BE MOUNTED AT STANDARD HEIGHT UNLESS OTHERWISE NOTED	Disconnects 30A, WP — DISCONNECT SIZE, WP: WEATHER PROOF 20A, RK1 — FUSE SIZE, TYPE RK1
Lighting Fixtures TYPE: A — LUMINAIRE TYPE - SEE LIGHT FIXTURE SCHEDULE PLA-11-d — CONTROL DEVICE IDENTIFICATION — BRANCH CIRCUIT NUMBER — PANEL DESIGNATION	Lighting Switches a — CONTROL DEVICE IDENTIFICATION D — DEVICE TYPE DESIGNATION

TYPE	LAMPS	VOLTAGE	MOUNT	FIXTURE DESCRIPTION	MANUFACTURER/CATALOG NUMBERS	REMARKS
A	LED 5300 LUMENS	UNV	PENDANT	4" INDUSTRIAL LED FIXTURE	H.E. WILLIAMS / 80-4L53-35-5-ACFL OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.
B	LED 3158 LUMENS	UNV	RECESSED	6" LED DOWNLIGHT FIXTURE	PRESCOLITE / LTR-6RD-H-ML30L-DM1-LTR-6RD-T-M-L-35K-8-WD-SS OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.
B1	LED 1192 LUMENS	UNV	RECESSED	6" LED DOWNLIGHT FIXTURE	PRESCOLITE / LTR-6RD-H-SL10L-DM1-LTR-6RD-T-SL-35K-8-WD-SS OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.
C	LED 2000 LUMENS	UNV	RECESSED	ADJUSTABLE OUTDOOR RECESSED 6" ROUND DOWNLIGHT - WET LOCATION LISTED	ALCON LIGHTING/14078-ADJ-6-FINISH-4K-60-JB OR APPROVED EQUAL	ARCHITECT TO SELECT FINISH. ADJUST FIXTURE TILT TO THE OWNER'S SATISFACTION. PROVIDE MOUNTING HARDWARE AS REQUIRED.
D	LED 560 & 1125 LUMENS	120V	SURFACE	UNDERCABINET LED FIXTURE	COOPER / HUI-1-X-D9-S-P OR APPROVED EQUAL "X" SHALL BE 18 AND 36 FOR A TOTAL OF (2) FIXTURES	PROVIDE MOUNTING HARDWARE AS REQUIRED. PROVIDE ALL NECESSARY CONNECTORS & ACCESSORIES TO DAISY CHAIN THE FIXTURES.
	LAMP (REQUIRES BULB)	120V	SURFACE AND WALL	INDUSTRIAL HIGH IMPACT LAMP	CANLET NY-VE-02-X-G OR APPROVED EQUAL "X" SHALL BE CF FOR CRAWLSPACE AND W FOR ATTIC	PROVIDE MOUNTING HARDWARE AS REQUIRED. PROVIDE A19 OR A21 EDISON BASE LED LAMP AT 10W MINIMUM AND 4000K COLOR TEMP.
EM	3W LED HEADS	UNV	WALL MOUNT	EMERGENCY FIXTURE WITH 3W LED HEADS AND BATTERY BACKUP	DUAL-LITE / LM-33-03L OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.
EX	LED HEAD	UNV	UNIVERSAL	EXIT SIGN	DUAL-LITE / EVE-U-R-W-E-I OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.
EX/EM	3W LED HEADS	UNV	UNIVERSAL	COMBINATION EXIT SIGN/EMERGENCY LIGHT WITH BATTERY BACKUP AND 3W LED HEADS	DUAL-LITE / HCX-U-R-W-3GL-RC12 OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.
RH	1W LED	3VDC	UNIVERSAL	EMERGENCY OUTDOOR REMOTE LED HEAD	HUBBELL / CORS OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.
WPK	LED 2059 LUMENS	UNV	WALL MOUNT	LED WALL PACK - WET LOCATION LISTED	EXO LIGHTING / LNC-SL-U4K-4-DBT OR APPROVED EQUAL	PROVIDE MOUNTING HARDWARE AS REQUIRED.

		Location: STORAGE/GARAGE 05						A.I.C. Rating: 14,000							
		Supply From: UTILITY POLE TRANSFORMER						Mains Type: MCB							
		Mounting: Surface						Mains Rating: 200 A							
		Enclosure: Type 1						MCB Rating: 200 A							
Notes:															
CKT	Circuit Description	Trip	Poles	Wire Size & Conduit	A		B		C		Wire Size & Conduit	Poles	Trip	Circuit Description	CKT
1	DESK RECEP.TS - OPEN OFFICE	20 A	1	2#12 + 1#12 - 3/4"	0.54 kVA	0.36 kVA					2#12 + 1#12 - 3/4"	1	20 A	GFCI RECEP.TS - KITCHEN	2
3	RECEP.TS - OPEN OFFICE	20 A	1	2#12 + 1#12 - 3/4"			0.72 kVA	0.18 kVA			2#12 + 1#12 - 3/4"	1	20 A	RECEPT - KITCHEN	4
5	RECEPT - HALL	20 A	1	2#12 + 1#12 - 3/4"					0.18 kVA	0.18 kVA	2#12 + 1#12 - 3/4"	1	20 A	RECEPT - REFRIGERATOR	6
7	RECEP.TS - OFFICE	20 A	1	2#12 + 1#12 - 3/4"	0.36 kVA	0.59 kVA					2#12 + 1#12 - 3/4"	1	20 A	GFCI RECEP.TS - RESTROOM/ATTIC	8
9	RECEP.TS - OFFICE	20 A	1	2#12 + 1#12 - 3/4"			0.54 kVA	0.90 kVA			2#12 + 1#12 - 3/4"	1	20 A	RECEP.TS - GARAGE	10
11	RECEP.TS - OFFICE	20 A	1	2#12 + 1#12 - 3/4"					0.36 kVA	0.36 kVA	2#12 + 1#12 - 3/4"	1	20 A	HEAT TRACE - GFEF 30mA BREAKER	12
13	GFCI RECEP.TS - OUTDOOR	20 A	1	2#12 + 1#12 - 3/4"	0.72 kVA	0.72 kVA					2#12 + 1#12 - 3/4"	1	20 A	GFCI RECEP.TS - CRAWLSPACE	14
15	RECEPT - MICROWAVE	20 A	1	2#12 + 1#12G - 3/4"			0.18 kVA								16
17															18
19,21	WATER HEATER P-6	60 A	2	2#6 + 1#10 - 3/4"	4.50 kVA	0.75 kVA				0.75 kVA	2#10 + 1#10G - 3/4"	2	20 A	GARAGE DOOR OPENER	18,20
		--	--	--			4.50 kVA	0.18 kVA				--	--	--	
23,25	WELL PUMP	20 A	2	2#12 + 1#12 - 3/4"					1.67 kVA	0.18 kVA	2#12 + 1#12 - 3/4"	1	20 A	SUMP PUMP RECEPT - CRAWLSPACE	22
27		--	--	--	1.67 kVA	0.03 kVA					2#12 + 1#12 - 3/4"	1	20 A	DEHUMIDIFIER RECEPT - CRAWLSPACE	24
29		--	--	--							2#12 + 1#12 - 3/4"	1	20 A	EXHAUST FAN EF-2 - GARAGE	26
31,33	UH-1	20 A	2	2#12 + 1#12G - 3/4"	1.50 kVA	0.22 kVA					2#12 + 1#12 - 3/4"	1	20 A	LIGHTING - GARAGE/OFFICE/RESTROOM	30
		--	--	--			1.50 kVA	0.18 kVA							32
35,37	HEAT PUMP, HP-1 - EXTERIOR	30 A	2	2#10 + 1#10 - 3/4"					2.04 kVA	0.14 kVA	2#12 + 1#12 - 3/4"	1	20 A	LIGHTING - CRAWLSPACE & ATTIC	36
		--	--	--	2.04 kVA	0.13 kVA					2#12 + 1#12 - 3/4"	1	20 A	LIGHTING - EXTERIOR	38
39,41	ELECTRIC BACKUP HEAT	70 A	2	2#4 + 1#8 - 1"			7.50 kVA	0.00 kVA			2#12 + 1#12G - 3/4"	1	20 A	(N) FACP	40
		--	--	--					7.50 kVA	0.00 kVA	2#12 + 1#12G - 3/4"	1	20 A	BAS	42
43															44
45															46
47															48
49															50
51															52
53															54
				Total Load:	13.86 kVA		16.10 kVA</								

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ARCHITECT / ENGINEER SEAL



CLIENT: DELAWARE DEPARTMENT OF TRANSPORTATION

PROJECT:
NEW CONSTRUCTION

WOODLAND FERRY HOUSE

5126 WOODI AND FERRY ROAD SEAFORD DE1 4WAF 19973

REVISIONS

[illegible]

SHEET TITLE

ELECTRICAL SITE & ATTIC PLAN

ISSUE

PS&E REVIEW

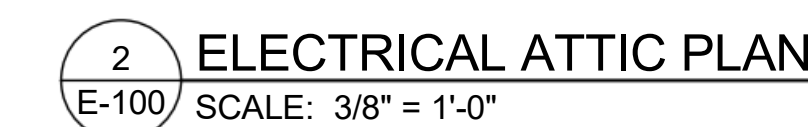
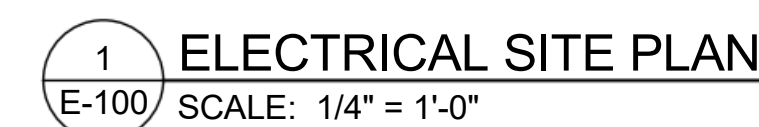
JUNE 19, 2026

DRAWN DZ	CHK'D PP	PROJECT NO 21095
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SHEET NO.

E-100

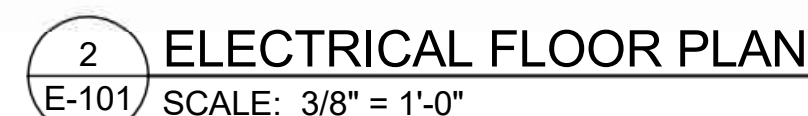
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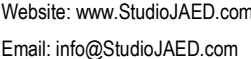
5126 WOODLAND FERRY ROAD, SEAFORD, DELAWARE 19973

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- 42 WEYBOSSETT STREET, STE 403
PROVIDENCE, RHODE ISLAND 02903
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1. SEE THE ARCHITECTURAL DRAWINGS FOR INFORMATION ON THE SCOPE OF CONSTRUCTION.
2. COLLECT FIXTURE VENTS IN VENT HEADER ABOVE CEILING AND CONNECT TO CLOSEST EXISTING VTR OR BRANCH VENT (OF THE SAME OR LARGER SIZE).
3. FOR ALL EQUIPMENT REQUIREMENTS, REFER TO SPECIFICATIONS, PLUMBING SCHEDULE OR DRAWINGS. CONTRACTOR SHALL NOT INSTALL EQUIPMENT/MATERIALS UNTIL SAME IS APPROVED.
4. INSTALL WATER HAMMER ARRESTORS IN DOMESTIC WATER PIPING AS REQUIRED PER P.D. 11-W-201 STANDARDS FOR WATER HAMMER ARRESTORS.
5. PROVIDE TRAPS FOR ALL PLUMBING EQUIPMENT CONNECTIONS AND/OR IN ANY SANITARY PIPING AS REQUIRED BY THE APPLICATION.
6. PRIOR TO SUBMITTING BID, THE CONTRACTOR/BIDDER SHALL VISIT THE SITE AND BE THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS AND PROPOSED CONSTRUCTION. CONTRACTOR/BIDDER SHALL INCLUDE IN THEIR BID ALL MATERIALS, LABOR AND ALL INCIDENTALS FOR A COMPLETE INSTALLATION WHETHER SPECIFICALLY INDICATED OR NOT. ALL ERRORS, DISCREPANCIES AND MISSED ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OR ARCHITECT PRIOR TO THE BIDDING PROCESS BY THE CONTRACTOR/BIDDER. THESE ITEMS SHALL BE INCLUDED IN THE BID PRICE. NO EXTRA COST WILL BE ALLOWED FOR ANY DISCREPANCY WHICH COULD HAVE BEEN NOTICED AT THE SITE BY THE CONTRACTOR/BIDDER.
7. ALL INSTALLATIONS SHALL COMPLY WITH ALL CODES OR REGULATIONS, LOCAL, STATE, OR NATIONAL HAVING JURISDICTION OVER THE PROJECT.
8. ALL FIXTURES AND PIPING INSTALLATIONS SHALL BE PROPERLY BRACED, RIGIDLY SUPPORTED, AND INSTALLED WITH ADEQUATE VIBRATION ISOLATION AND INSULATION.
9. PROVIDE ALL LABOR, MATERIALS, AND INSTALLATION APPARATUS TO INSURE A COMPLETE OPERATING SYSTEM IMPLIED BY DRAWING CONTENT AND AS SPECIFIED.
10. THOROUGHLY COORDINATE ALL PLUMBING INSTALLATIONS WITH WORK OF OTHER CONSTRUCTION DISCIPLINES.
11. SEAL ALL RESPECTIVE WALL, FLOOR, AND CEILING/ROOF PENETRATIONS AS APPROPRIATE TO MAINTAIN A WEATHER-TIGHT ENCLOSURE, FIRE BARRIER, SMOKE BARRIER, ETC. AS APPLICABLE, REFER TO ARCHITECTURE PLANS FOR SMOKE AND FIRE BARRIERS/WALLS.
12. CONTRACTOR TO PAY FOR ALL FEES AND PERMITS ASSOCIATED WITH PLUMBING WORK INDICATED AS NECESSARY TO SECURE A COMPLETE AND OPERATIONAL SYSTEM ON SCHEDULE AND IN A TIMELY MANNER.
13. CONNECT DHW, DWH, CAVIN, VENT, AND SOIL & WASTE LINES TO FIXTURES IN ACCORDANCE WITH SIZES INDICATED ON FIXTURE SCHEDULE.
14. RUN 2" MINIMUM SIZES SOIL & WASTE PIPING BELOW GROUND INSIDE BUILDING REGARDLESS OF SIZE ON FIXTURE CONNECTION SCHEDULE.
15. ALL DIMENSIONS AND PIPE SIZES ARE IN INCHES, UNLESS NOTED OTHERWISE.
16. FURNISH AND INSTALL ACCESS PANELS WHERE REQUIRED FOR ACCESS TO ALL CONCEALED VALVES, TRAPS, OR OTHER EQUIPMENT FURNISHED UNDER THIS CONTRACT WHERE NO OTHER MEANS IS AVAILABLE.
17. INSTALL ALL SHUT-OFF AND ISOLATION VALVES WITH ACCESS PANELS IF NECESSARY IN A LOCATION WHICH IS ACCESSIBLE FROM THE MAIN FLOOR.
18. CONTRACTOR TO PROVIDE SHUT-OFF VALVES AT ALL DEVICES.
19. KEEP ALL OPENINGS IN PIPES OR FITTINGS PLUGGED OR CAPPED UNTIL CONNECTED.
20. SLOPE ALL DWV LINES 1/8" PER FOOT (3" AND ABOVE), 1/4" PER FOOT (2 1/2" AND BELOW).
21. INSTALL ALL FIXTURES, AS SPECIFIED, WITH SHUT-OFF VALVES.
22. INSTALL WASTE AND SUPPLY GRADUALLY UNDER ALL LAVS.
23. MAINTAIN RECORD DRAWINGS ON SITE. RECORD SET MUST BE COMPLETE, CURRENT AND AVAILABLE FOR INSPECTION WHEN REQUIREMENTS FOR PAYMENT ARE SUBMITTED.
24. PROVIDE FIXTURE STOPS AT ALL PLUMBING FIXTURES AND PROVIDE ISOLATION VALVES IN CRAWLSPACE AT BRANCH DOMESTIC HOT AND COLD WATER PIPING TO EACH FIXTURE.

	FLOOR MOUNTED WATER CLOSET - ADA HEIGHT
	LAVATORY - ADA
	CLEANOUT
DCW	DOMESTIC COLD WATER
DHW	DOMESTIC HOT WATER
R/W	RUN IN WALL
VTR	VENT THROUGH ROOF
SANI	SANITARY PIPING
V	VENT PIPING

SYMBOL	FIXTURE	MANUFACTURER/MODEL #	TRIM	COLOR	DRAIN	VENT	CW	HW	REMARKS
<u>P-1</u>	FLOOR MOUNTED TANK TYPE TOILET	AMERICAN STANDARD CADET PRO ELONGATED TOILET, 1.6 GALS/FLUSH	PROVIDE WITH ELONGATED ANTI-MICROBIAL SLOW-CLOSE LID AND SEAT, AND TRIP LEVER	WHITE	4"	2"	1/2"	-	-
<u>P-2</u>	DROP-IN LAVATORY	SOLID SURFACE INTEGRAL COUNTERTOP SINK BY COUNTERTOP MANUFACTURER	MOEN M-POWER ELECTRONIC TOUCHLESS FAUCET, CHROME FINISH, WITH XFMR HAVING 120VAC INPUT, MODEL 8553AC	ARCHITECT TO SELECT	1 1/4"	1 1/4"	1/2"	1/2"	-
<u>P-3</u>	SHOWER	BEST BATH MODEL LSS4238A5	SYMONS TEMPTROL MODEL C-96-300-B30-V-X AND WHITE ADA HAND SHOWER WAND	WHITE	2"	1 1/2"	1/2"	1/2"	SEE ARCHITECTURAL PLANS FOR ADDITIONAL ACCESSORIES
<u>P-4</u>	KITCHEN SINK	ELKAY MODEL LRA0252150 DROP-IN ADA SINK	ELKAY LKG1041 SINGLE HOLE KITCHEN FAUCET AND PULL-OUT SPRAYER WITH NICKEL FINISH, 1.75 GPM	STAINLESS STEEL	1 1/2"	1 1/4"	1/2"	1/2"	PROVIDE WITH STAINLESS STEEL BOTTOM GRID, STAINLESS STEEL STRAINER BASKET WITH OFFSET TAIL PEECE AND RINSING BASKET
<u>P-5</u>	WALL HYDRANT	WATTS FROST-PROOF WALL HYDRANT, MODEL FH-1-M1	-	NICKEL	-	-	1/2"	-	-
<u>P-6</u>	WATER HEATER	AO SMITH PRO-LINE ENT-40	PROVIDE STAINLESS STEEL DRAIN PAN WITH DRAIN ROUTED TO CRAWLSPACE AND RELIEF VALVE	CRAWLSPACE	-	-	3/4"	3/4"	40 GALLONS NOMINAL TANK CAPACITY, 53-GALLON FIRST HOUR RATING, 9000 MAX WATTAGE, 208V/1PH

ALL WALLS: REINFORCING SUPPORT SHOWN DASHED

COORDINATE ALL FINISH DIMENSIONS WITH ARCHITECTURAL PLANS

TYP WATER CLOSET ELEVATION

1'-0" 3'-6" 39" - 41" 18" MIN. 11 1/2" MIN. 7'-9" 17'-10" 33" - 38" 38" - 41" 3'-0" MAXIMUM

LOW HEIGHT FLUSH VALVE

WATER CLOSET

TYP URINAL ELEVATION

1'-2" MIN. ACCESSIBLE ELONGATED RIM FOR ACCESSIBLE URINAL 7'-0" NON-ACCESSIBLE 1'-5" ACCESSIBLE FLOOR LINE

WATER CLOSET

15" 17'-10" 16"-18" NON-ACCESSIBLE ACCESSIBLE-ADULT TO SEAT

TYP LAV. MIRROR ELEVATION

3'-4" 2'-10" 2'-6" MIN. 3'-0" 22" MIN. WIDTH SINK INSULATE DRAIN & WATER SUPPLY LINES. PROVIDE LAV GUARD BY TRUBRO INC. OR APPROVED EQUAL.

LAVATORY

3'-4" MAX. ACCESSIBLE 6 1/2" MAX. 2'-0" MAX. ACCESSIBLE 2'-5" MIN. 2'-5" MIN. 9" MIN. 1'-5" MIN. INSULATE DRAIN AND WATER PIPES DASHED LINE INDICATES ACCESSIBLE KNEE AND TOE CLEARANCE SPACE 8" MIN. 6" MAX.

WATER COOLER

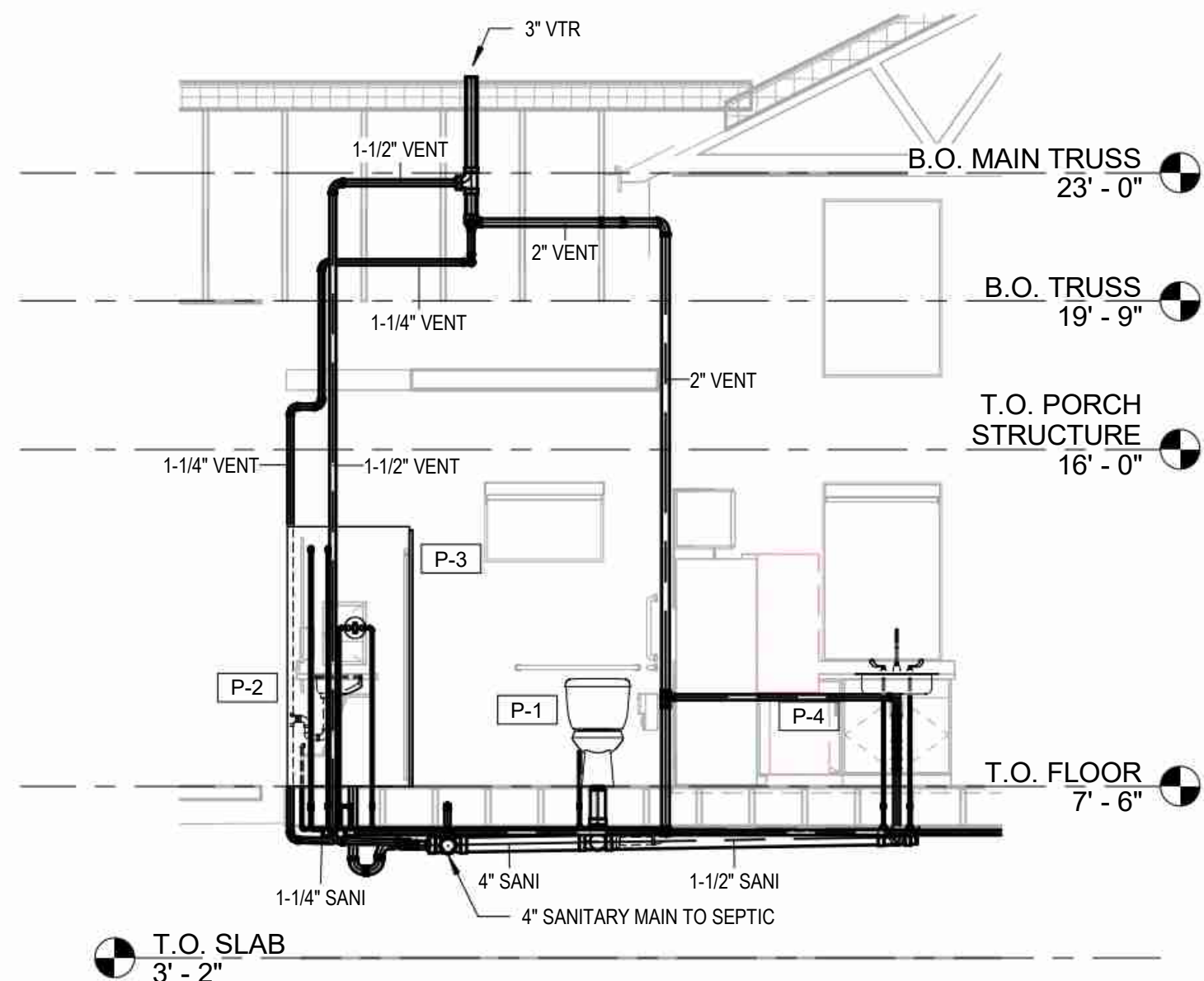
2'-6" 3'-6" 3'-0" 2'-3" MIN. 8" MIN. 1'-5" MINIMUM 1'-7" MAXIMUM TOP OF SPOUT DOTTED AREA INDICATES ACCESSIBLE KNEE AND TOE CLEARANCE SPACE 9" MIN.

SCALE: NO SCALE

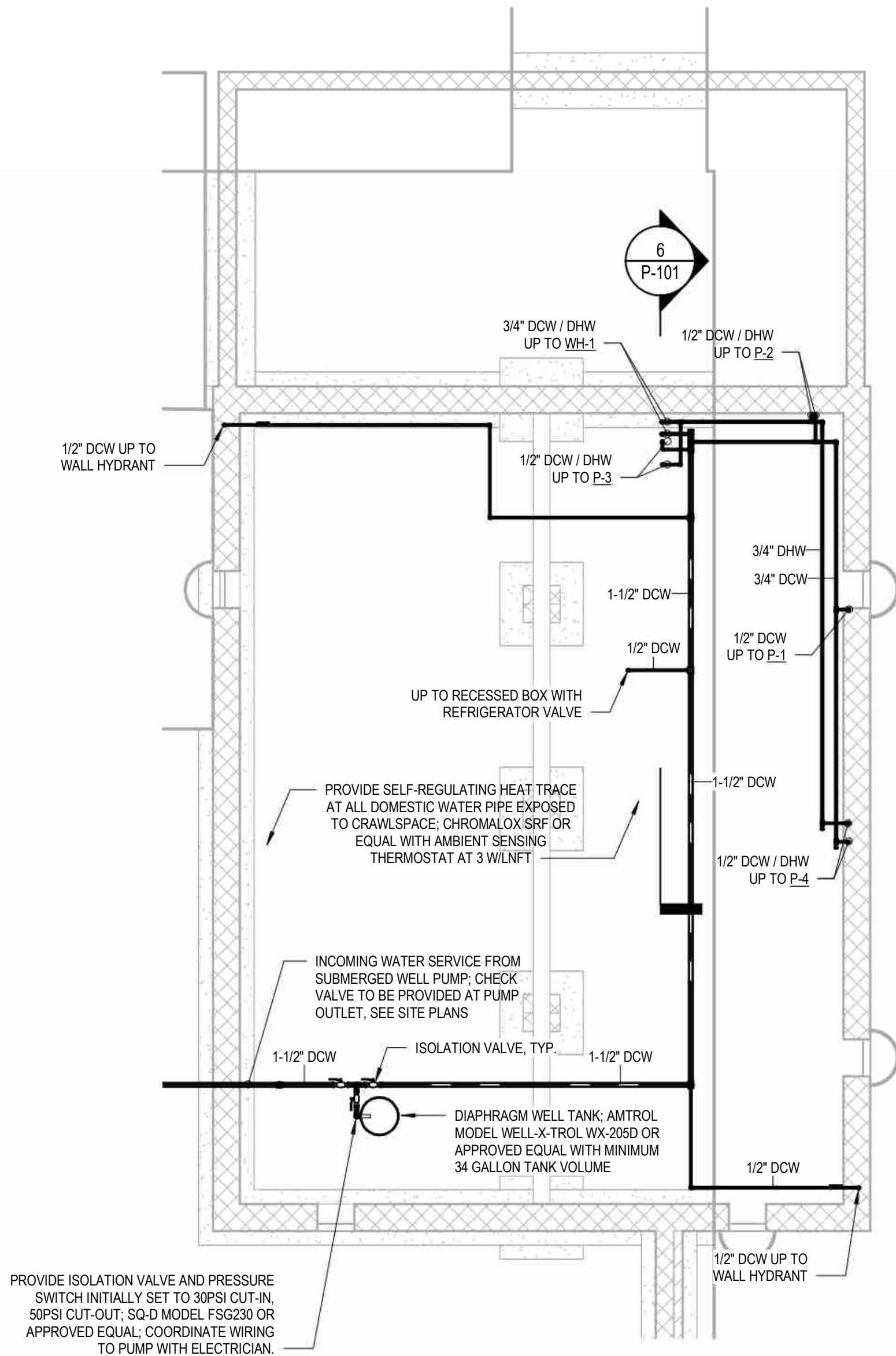
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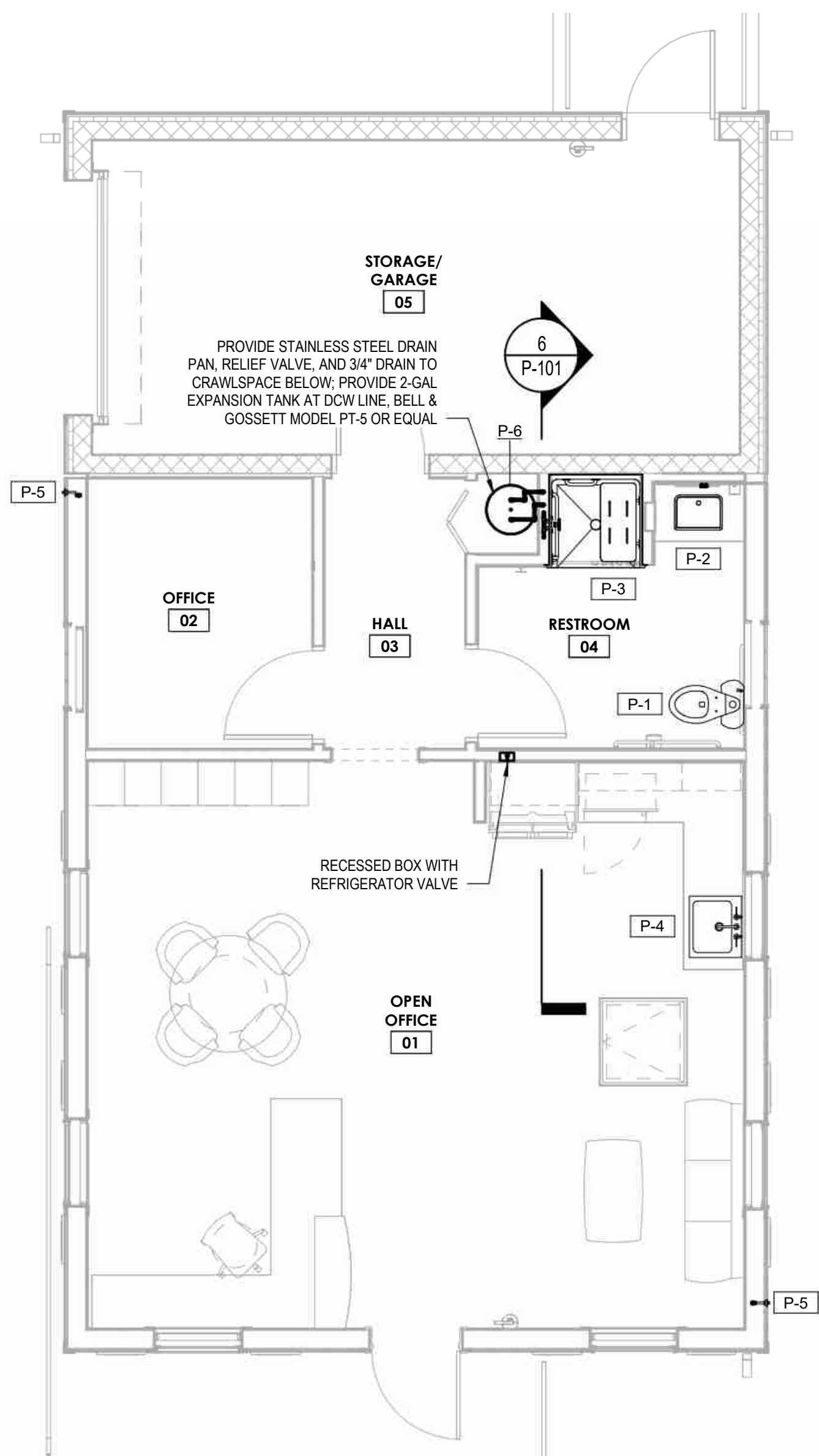
THE RECIPIER OF THESE PLANS HEREBY AGREES TO HOLD THE ENGINEER, ARCHITECT, AND OTHER PROFESSIONAL PERSONS HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY ANY SUCH PERSONS IN CONNECTION WITH THE PERFORMANCE OF THEIR PROFESSIONAL SERVICES UNDER THESE PLANS. THE RECIPIER OF THESE PLANS HEREBY AGREES TO HOLD THE ENGINEER, ARCHITECT, AND OTHER PROFESSIONAL PERSONS HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY ANY SUCH PERSONS IN CONNECTION WITH THE PERFORMANCE OF THEIR PROFESSIONAL SERVICES UNDER THESE PLANS.



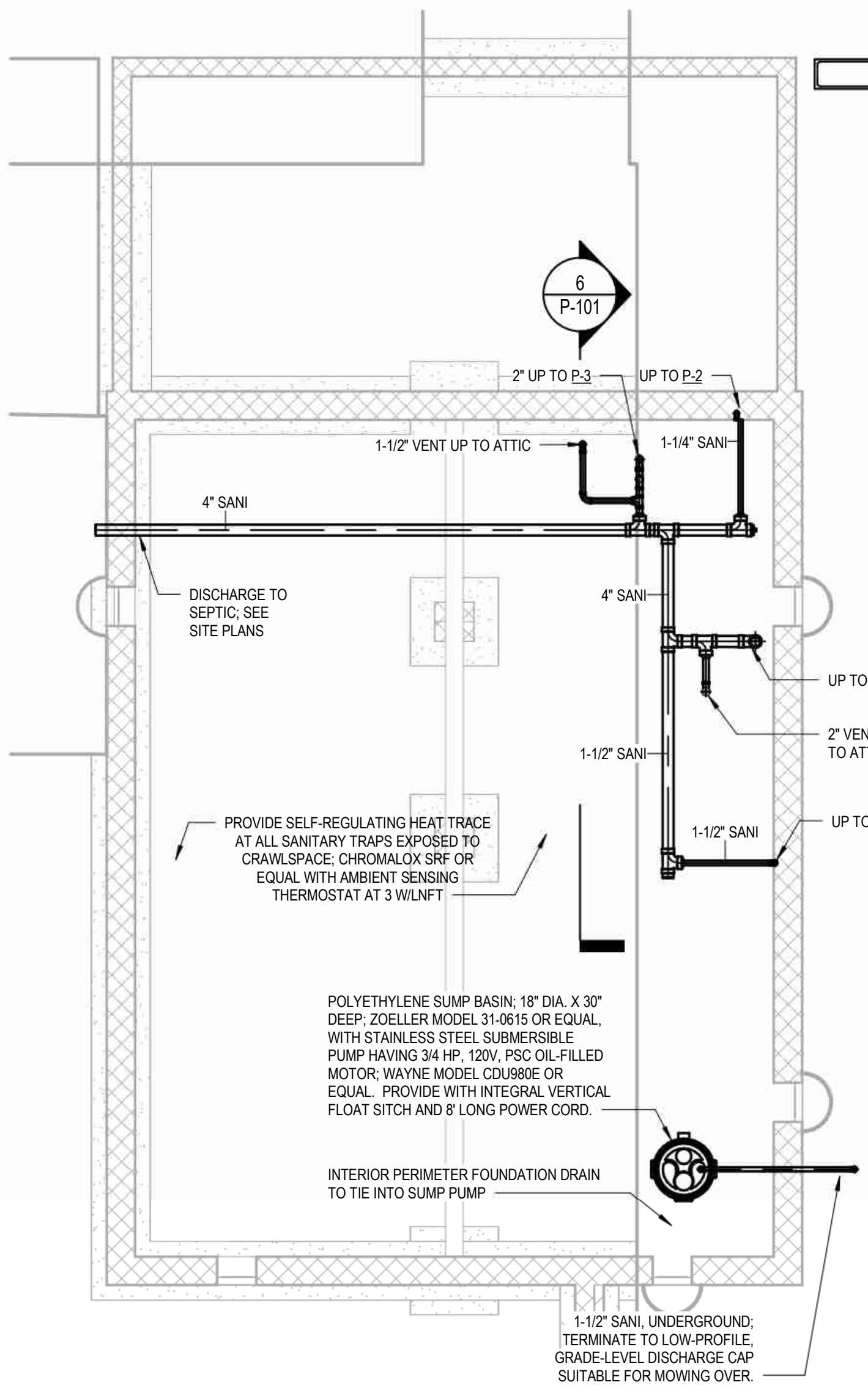
6 P-101
1 PLUMBING SECTION
SCALE: 1/4" = 1'-0"



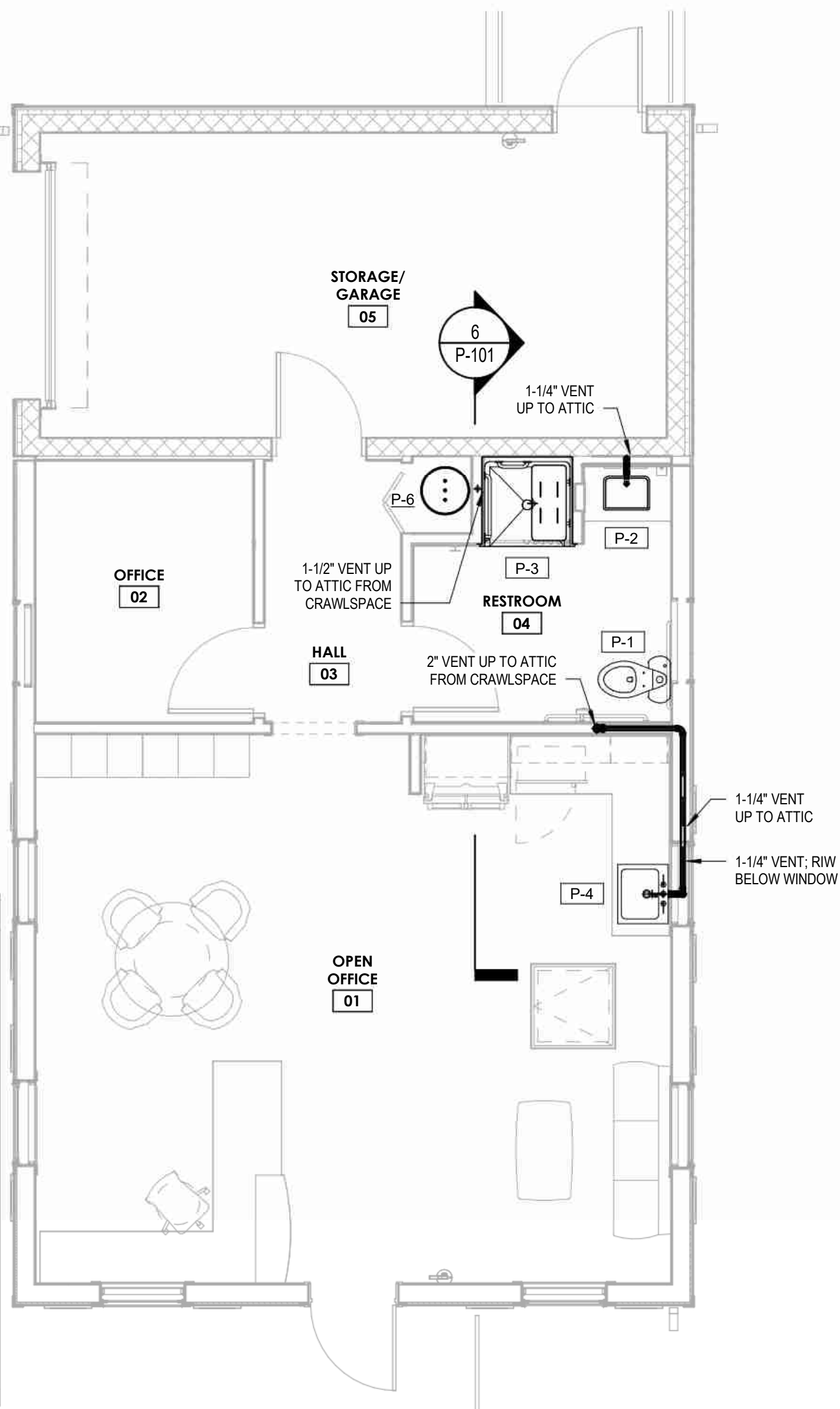
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1 DOMESTIC WATER PIPING CRAWLSPACE PLAN
SCALE: 1/4" = 1'-0"



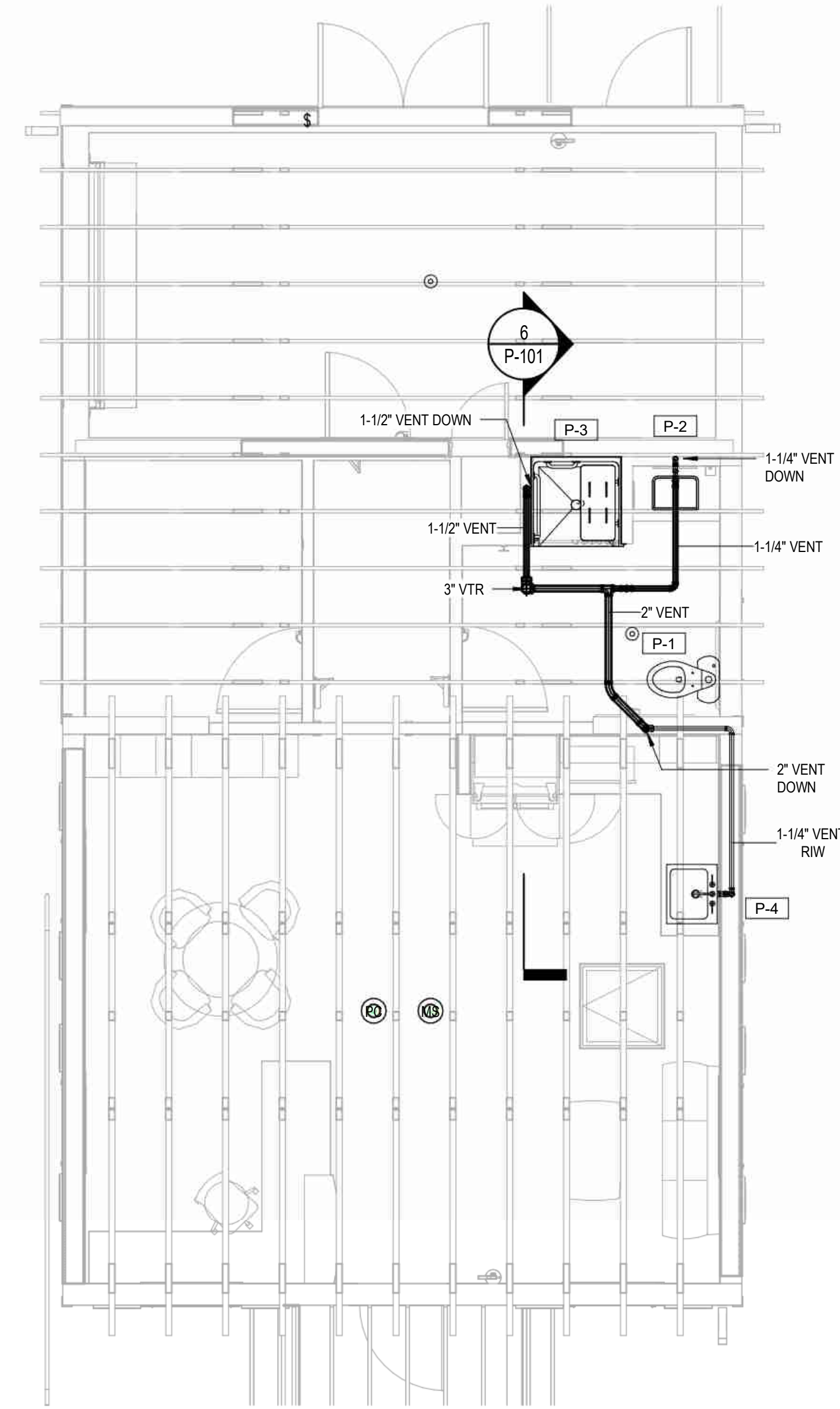
2 P-101
2 DOMESTIC WATER PIPING FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 P-101
3 SANITARY PIPING CRAWLSPACE PLAN
SCALE: 1/4" = 1'-0"



4 P-101
4 SANITARY & VENT PIPING FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 P-101
5 VENT PIPING ATTIC PLAN
SCALE: 1/4" = 1'-0"



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CLIENT
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TRANSPORTATION

PROJECT
NEW CONSTRUCTION

WOODLAND FERRY HOUSE

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PROJECT

REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE

PLUMBING PLANS

ISSUE
PS&E REVIEW

JUNE 19, 2026

DRAWN	CHKD	PROJECT NO.
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